



NEXT HOME INSPECTOR, LLC

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<https://www.nexthomeinspector.com>



RESIDENTIAL INSPECTION

20149 US-63

Queen City, MO 63561

Trophy Properties and Auction

08/11/2026



Inspector

Neal Caylor

InterNACHI Certified Professional Inspector

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SAFETY HAZARD

SUMMARY

- ⊖ 2.4.1 Roof - Roof Drainage Systems: Gutter/Downspout Missing/Damaged
- ⊖ 3.2.1 Exterior - Siding, Flashing & Trim: Rotting Wood Siding/Trim
- 🔧 3.2.2 Exterior - Siding, Flashing & Trim: Paint Refresh
- 🔧 3.3.1 Exterior - Eaves, Soffits & Fascia: Paint/Finish Failing
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- ⚠️ 3.4.1 Exterior - Walkways, Patios & Driveways: Driveway/Walkway Trip Hazard
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- ⊖ 4.2.1 Basement, Foundation, Crawlspce & Structure - Foundation: Wall(s) Bowing/Leaning
- ⊖ 5.5.1 Heating - Presence of Installed Heat Source in Each Room: Insufficient Ventilation
- 🔧 6.2.1 Cooling - Cooling Equipment: Insulation Missing or Damaged
- 🔧 7.3.1 Plumbing - Water Supply, Distribution Systems & Fixtures: Fixture Loose/Leaking or Damaged
- ⊖ 7.4.1 Plumbing - Drain, Waste, & Vent Systems: Improper/Incomplete Connection
- 🔧 7.4.2 Plumbing - Drain, Waste, & Vent Systems: Sink/Shower - Poor Drainage
- 🔧 8.2.1 Electrical - Lighting Fixtures, Switches & Receptacles: Cover Plates Missing/Damaged
- ⊖ 8.2.2 Electrical - Lighting Fixtures, Switches & Receptacles: Inadequate Number of Receptacles
- 🔧 8.2.3 Electrical - Lighting Fixtures, Switches & Receptacles: Light/Fan Inoperable
- ⊖ 8.2.4 Electrical - Lighting Fixtures, Switches & Receptacles: Ungrounded Receptacle(s)
- 🔧 8.2.5 Electrical - Lighting Fixtures, Switches & Receptacles: Missing/Damaged Sconce(s)/Fan Balde(s)
- ⚠️ 8.4.1 Electrical - Smoke/Carbon Monoxide Detectors: Inappropriate Location/Missing
- ⊖ 8.5.1 Electrical - Branch Wiring Circuits, Breakers & Fuses: Improper Wiring
- ⚠️ 8.6.1 Electrical - Main & Subpanels, Service & Grounding, Main Overcurrent Device: Breaker Incorrectly Wired
- ⊖ 8.6.2 Electrical - Main & Subpanels, Service & Grounding, Main Overcurrent Device: Missing/Incorrect Dead-front Screw(s)
- ⊖ 8.6.3 Electrical - Main & Subpanels, Service & Grounding, Main Overcurrent Device: Corrosion

- 🔑 10.1.1 Doors, Windows & Interior - Doors: Door Stics
- 🔑 10.1.2 Doors, Windows & Interior - Doors: Hardware Missing/Damaged
- ⊖ 10.1.3 Doors, Windows & Interior - Doors: Door Missing
- ⊖ 10.2.1 Doors, Windows & Interior - Windows: Damaged
- ⊖ 10.2.2 Doors, Windows & Interior - Windows: Failed Seal/Damaged Pane
- ⊖ 10.3.1 Doors, Windows & Interior - Floors: Damaged (General)
- 🔑 10.4.1 Doors, Windows & Interior - Walls: Poor Patching/Poor Painting
- ⊖ 10.4.2 Doors, Windows & Interior - Walls: Moisture Damage
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- ⊖ 10.4.4 Doors, Windows & Interior - Walls: Peeling Wallpaper
- ⊖ 10.5.1 Doors, Windows & Interior - Ceilings: Stain(s) on Ceiling
- ⚠ 10.6.1 Doors, Windows & Interior - Steps, Stairways & Railings: No Handrail/Handrail Stops Short
- ⊖ 10.7.1 Doors, Windows & Interior - Countertops & Cabinets: Cabinet(s)/Countertop(s) Damaged General
- ⊖ 11.2.1 Built-in Appliances - Range/Oven/Cooktop: Exhaust System Missing
- ⊖ 12.1.1 Sewer Scope - General: Offset Pipe(s)
- ⊖ 12.1.2 Sewer Scope - General: Backed Up Sewer Line

1: INSPECTION DETAILS

1.1	General
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Information

General: In Attendance Inspector Only	General: Occupancy Vacant, Owners Belongings	General: Style Bungalow
General: Temperature (Approximate) 90 Fahrenheit (F)	General: Type of Building Single Family	General: Weather Conditions Clear

2: ROOF

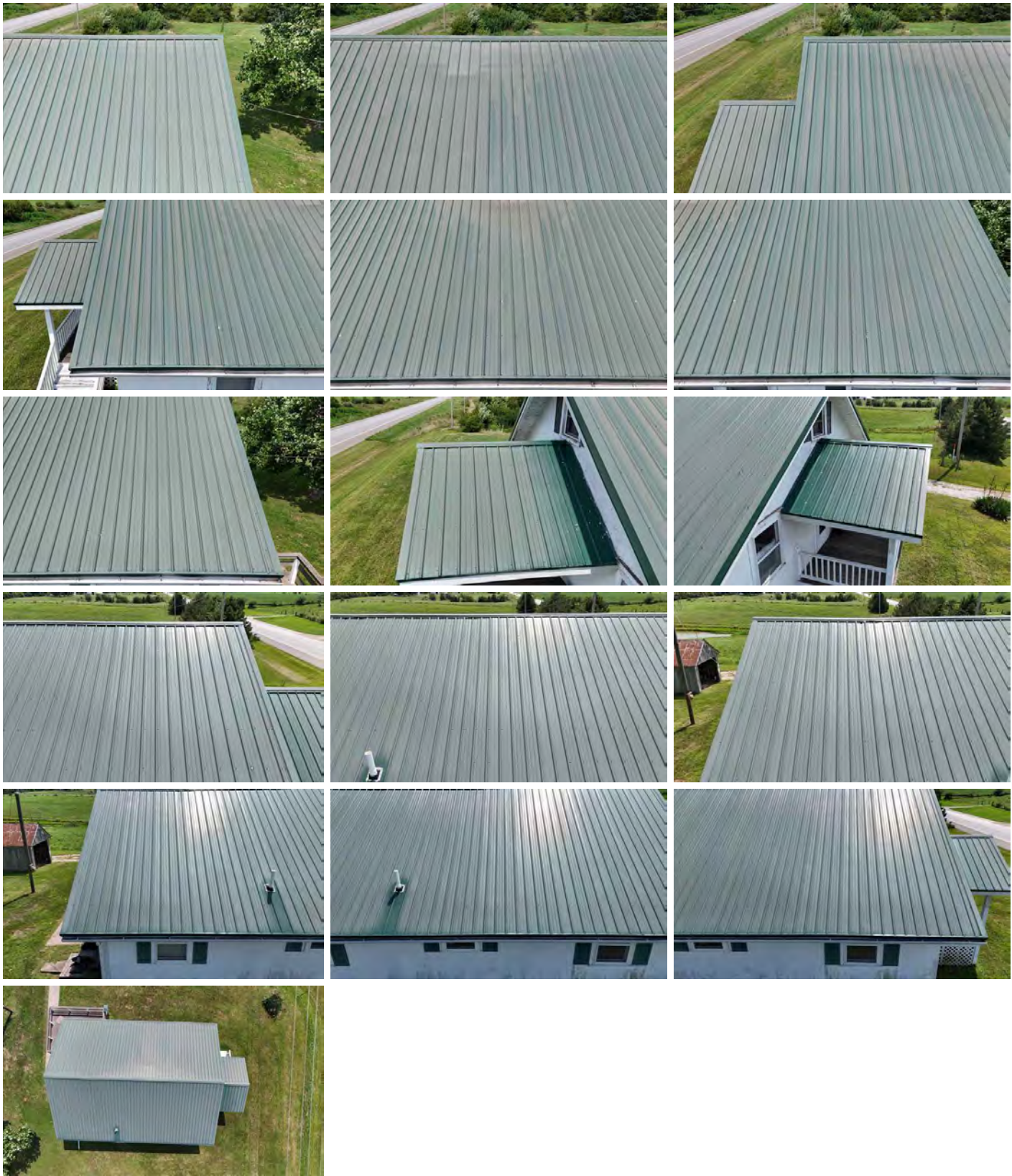
2.1	General
2.2	Coverings
2.3	Flashings
2.4	Roof Drainage Systems

Information

General: Inspection Method
Drone

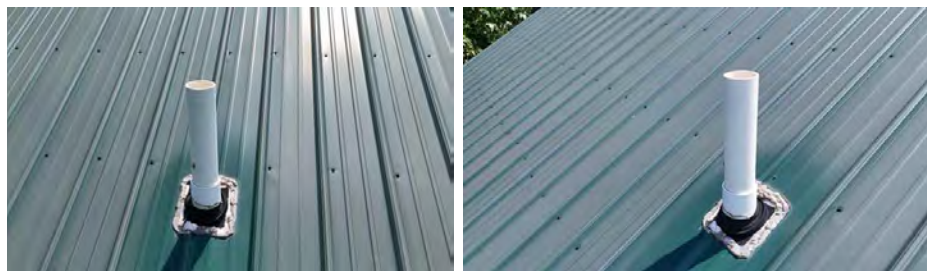
General: Roof Type/Style
Gable

Coverings: Material
Metal



Flashings: Material

Rubber

**Roof Drainage Systems: Gutter Material**

Seamless Aluminum

**Observations**

2.4.1 Roof Drainage Systems

GUTTER/DOWNSPOUT MISSING/DAMAGED

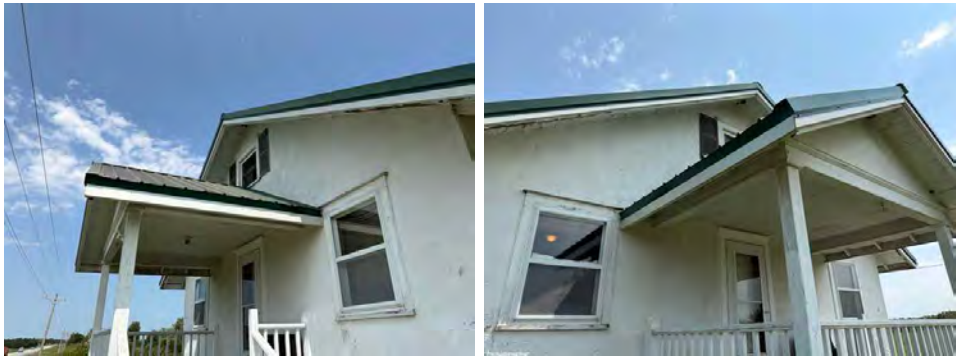
WEST

Home was missing or had damaged downspouts in one or more areas. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor install downspout extensions that drain at least 6 feet from the foundation.

Recommendation

Contact a qualified gutter contractor





3: EXTERIOR

3.1	General
3.2	Siding, Flashing & Trim
3.3	Eaves, Soffits & Fascia
3.4	Walkways, Patios & Driveways
3.5	Decks, Balconies, Porches & Steps
3.6	Vegetation, Grading, Drainage, Retaining Walls & Fences
3.7	Exterior Doors

Information

General: Inspection Method Visual, Basement Access	Siding, Flashing & Trim: Siding Style Masonry	Decks, Balconies, Porches & Steps: Material Composite, Wood
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Siding, Flashing & Trim: Siding Material

Stucco



Eaves, Soffits & Fascia: Eaves, Soffit, Facia





Walkways, Patios & Driveways: Driveway Material

Concrete, Gravel



Decks, Balconies, Porches & Steps: Appurtenance

Covered Porch, Deck with Steps



Exterior Doors: Exterior Entry Door

Wood, Steel



Observations

3.2.1 Siding, Flashing & Trim

ROTTING WOOD SIDING/TRIM

EAST

Rotting wood siding/trim should be replaced and all surfaces should be repainted to ensure that the material blow is sealed and protected.



Recommendation

Recommendation
Contact a qualified siding specialist.



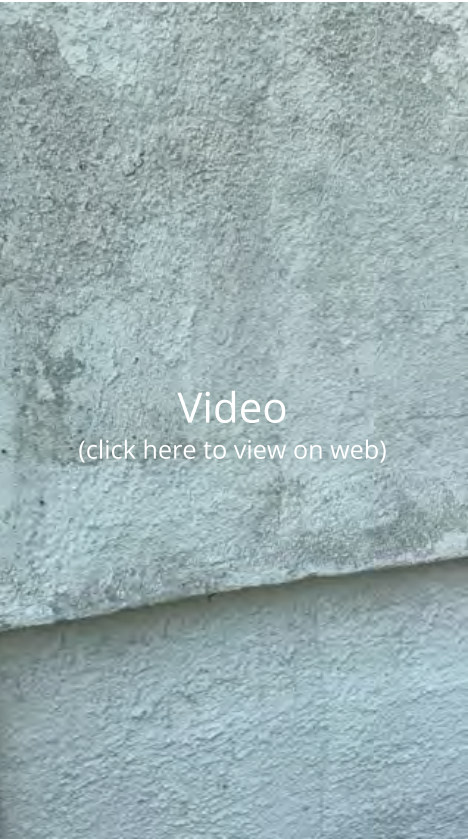
3.2.2 Siding, Flashing & Trim
PAINT REFRESH

MULTIPLE

Ensuring damaged or deteriorating paint is refreshed will help to ensure the longest possible lifespan of a material covering.

Recommendation
Contact a qualified painting contractor.

Maintenance Item



Video
(click here to view on web)



Video
(click here to view on web)





3.3.1 Eaves, Soffits & Fascia

PAINT/FINISH FAILING

MULTIPLE

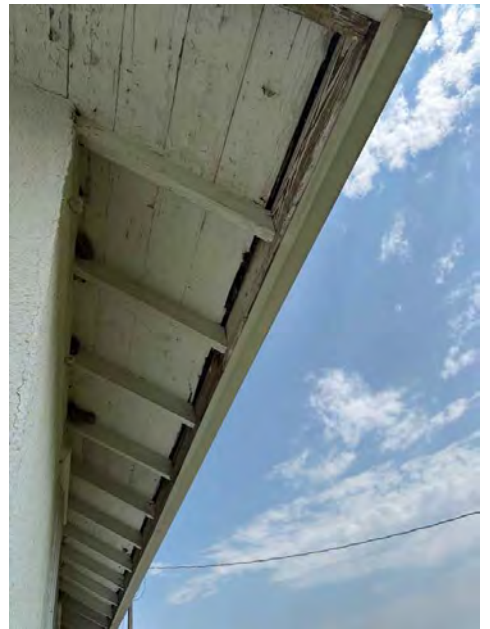
The paint or finish is failing. This can lead to deterioration and rot of the material. Recommend that the areas be properly prepared and painted / finished.

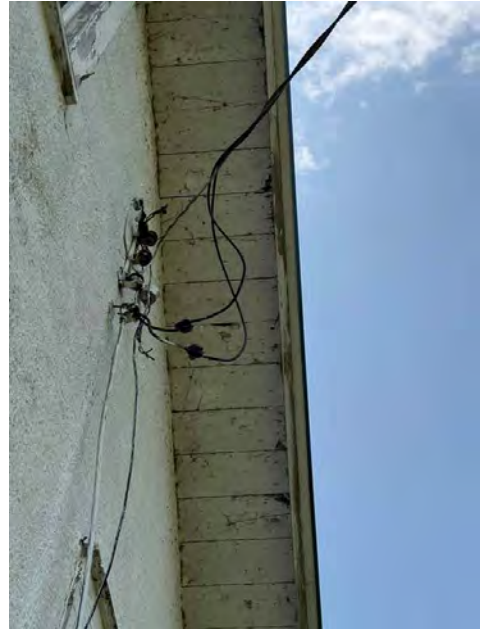
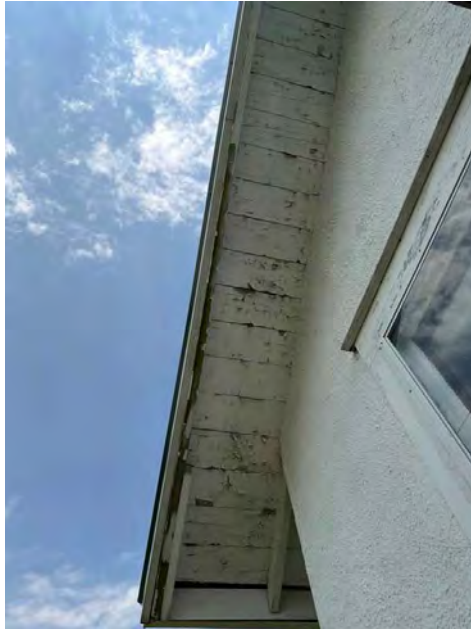
Recommendation

Contact a qualified painting contractor.



Maintenance Item





3.3.2 Eaves, Soffits & Fascia

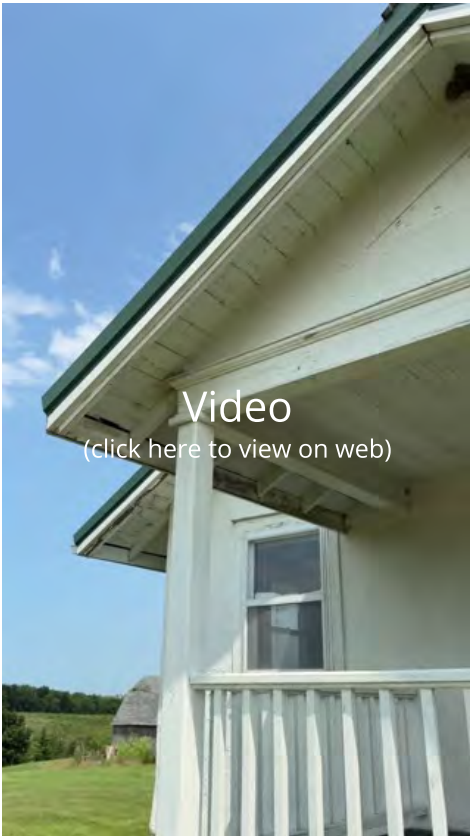
NEST

MULTIPLE

A nest was visible in the soffit/fascia material. Recommend removal by a pest control pro.

Recommendation

Contact a qualified pest control specialist.



3.4.1 Walkways, Patios & Driveways

DRIVEWAY/WALKWAY TRIP HAZARD

DRIVEWAY/WALKWAY EAST

Trip hazards observed in the driveway or walkway. Patch or repair recommended.

Recommendation

Contact a qualified concrete contractor.



Safety Hazard



3.5.1 Decks, Balconies, Porches & Steps

DECK - WEATHER SEALANT

WEST

Deck is showing signs of weathering and/or water damage. Recommend water sealant/weatherproofing be applied.

[Here is a helpful article](#) on staining & sealing your deck.

Recommendation

Contact a handyman or DIY project



Maintenance Item



3.7.1 Exterior Doors

PAINT/REFINISH RECOMMENDED

EAST, WEST

Door finish is worn. Recommend refinish and/or paint to maximize service life.

[Here is a DIY article](#) on refinishing a wood door.

Recommendation

Contact a handyman or DIY project



Maintenance Item



3.7.2 Exterior Doors

WEATHERSTRIPPING MISSING/GAP

LIVING ROOM

Door is missing standard weatherstripping. This can result in significant energy loss and moisture intrusion. Recommend installation of standard weatherstripping.

[Here is a DIY guide on weatherstripping.](#)

Recommendation

Contact a qualified handyman.



Maintenance Item



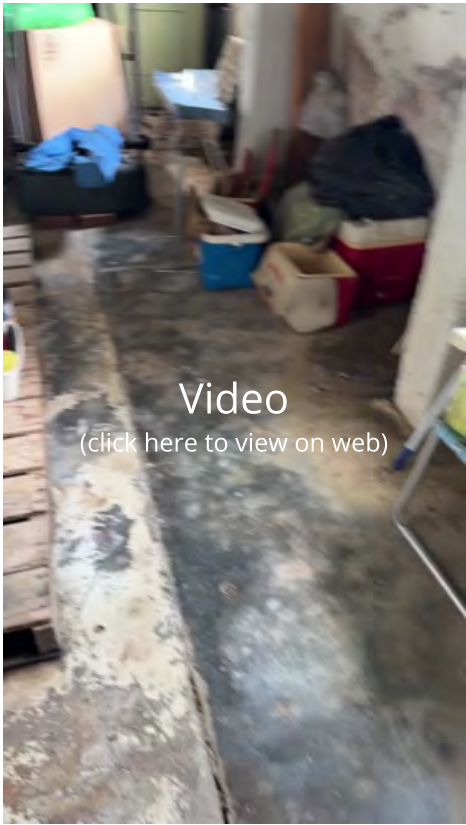
4: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

4.1	General
4.2	Foundation
4.3	Basements & Crawlspaces
4.4	Floor Structure

Information

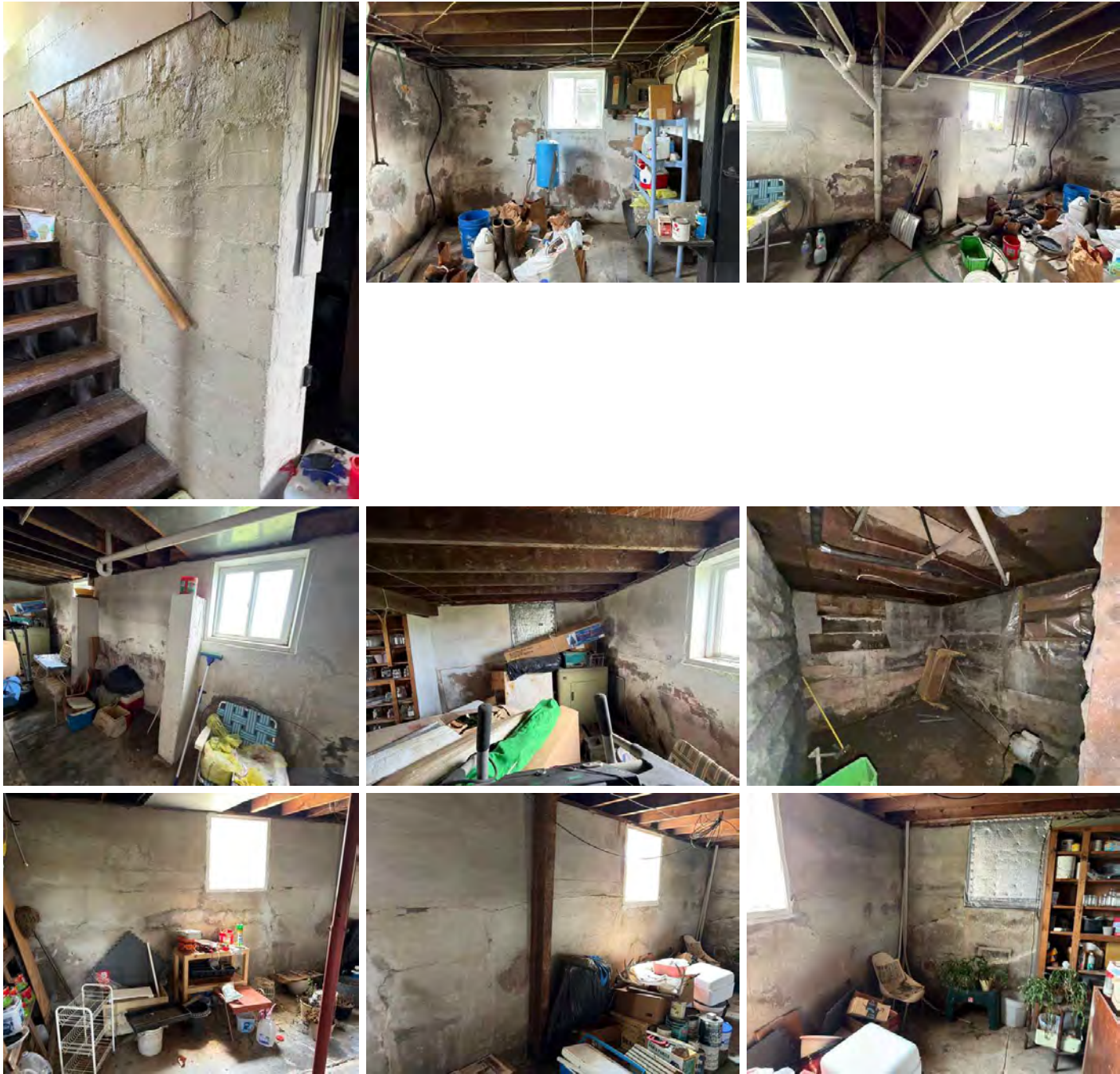
General: Inspection Method
Basement Access

Floor Structure: Sub-floor
Plank



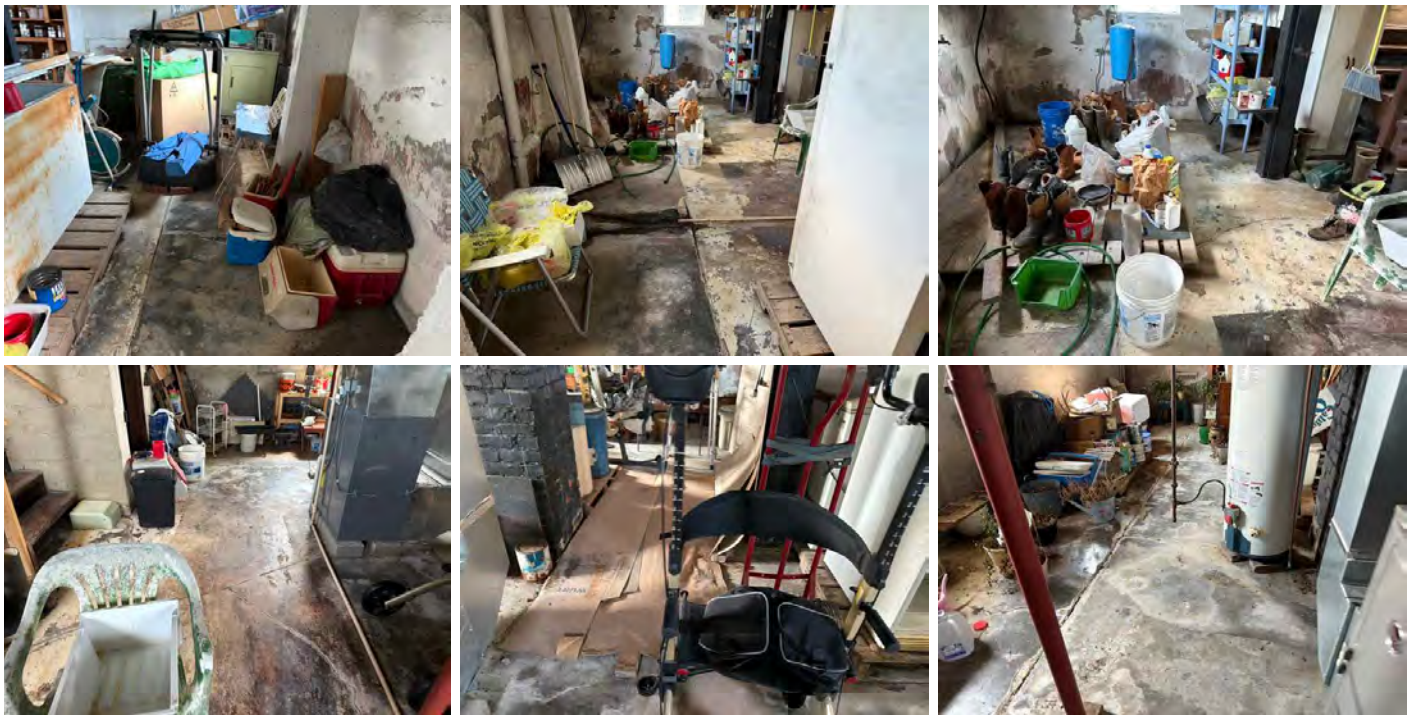
Video
(click here to view on web)

Foundation: Material
Masonry Block, Concrete

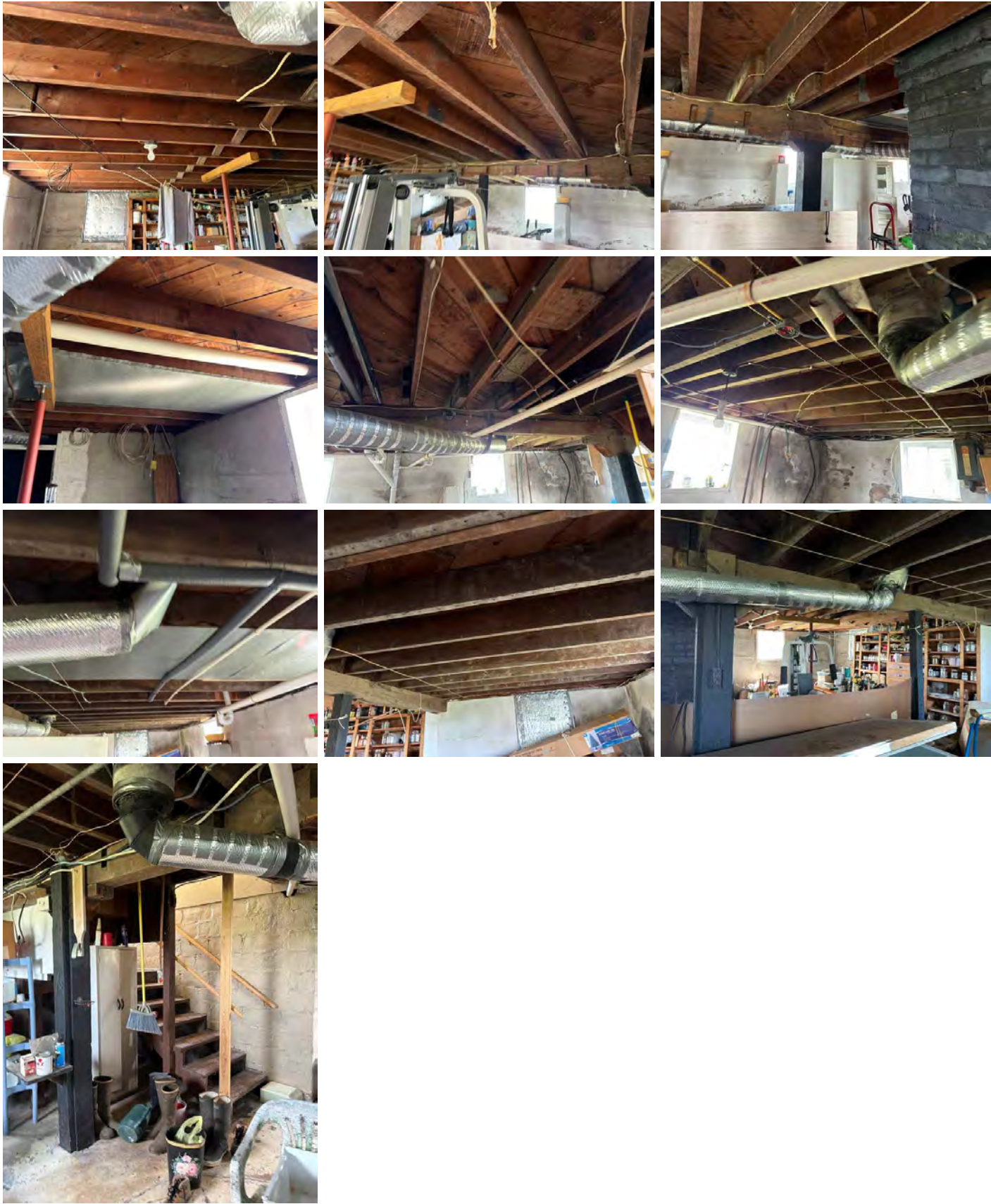


Basements & Crawlspace: Basement/Crawlspace**Floor Structure: Basement/Crawlspace Floor**

Concrete



Floor Structure: Material
Wood Beams



Observations

4.2.1 Foundation

WALL(S) BOWING/LEANING

WEST, SOUTH

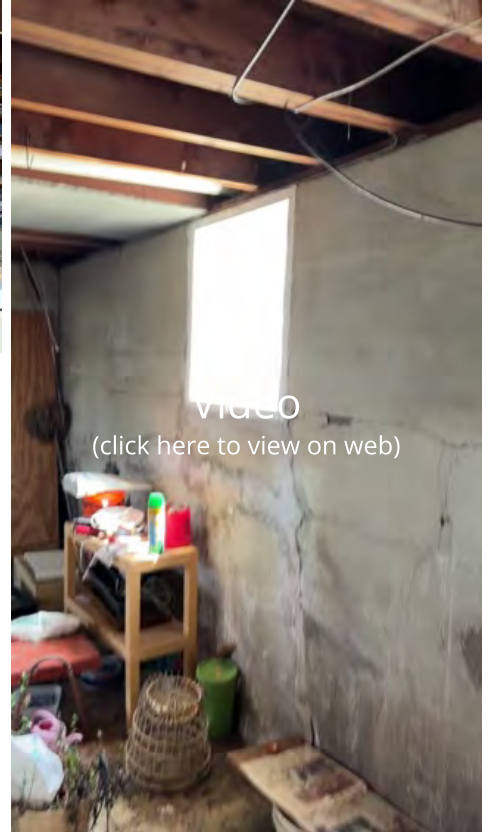
Foundation wall is bowing and/or leaning this is evidence of structural damage. Repair of wall is recommended to reduce future continued movement.

Recommendation

Contact a foundation contractor.



Recommendation



5: HEATING

5.1	General
5.2	Equipment
5.3	Normal Operating Controls
5.4	Distribution Systems
5.5	Presence of Installed Heat Source in Each Room

Information

Equipment: Date of Manufacture

07/01/2020

Equipment: Energy Source

Natural Gas

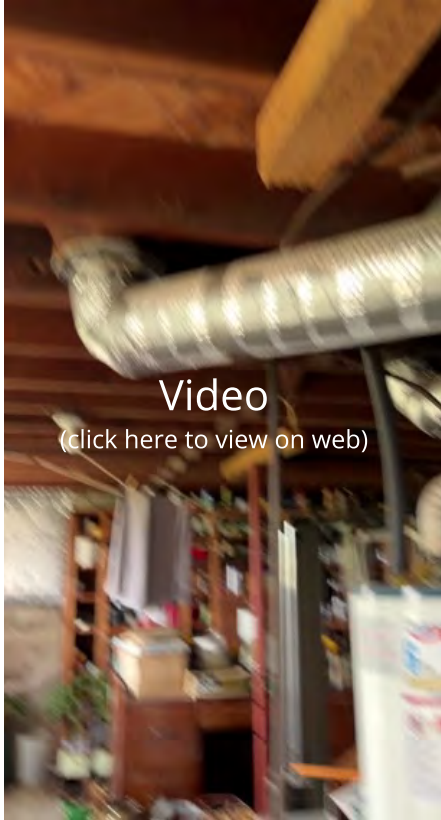
Equipment: Heat Type

Forced Air

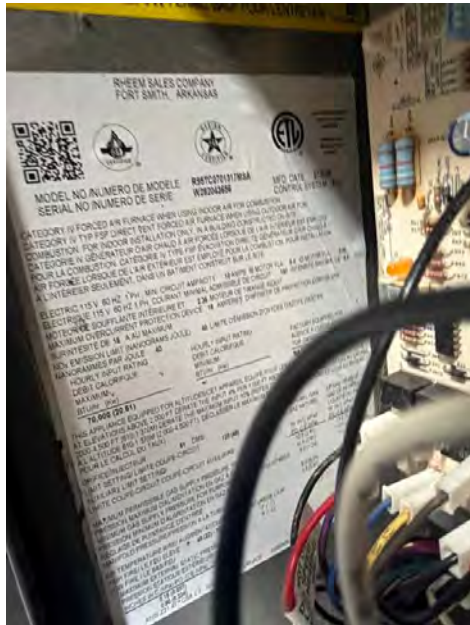


Distribution Systems: Ductwork

Insulated, Non-insulated



Equipment: Brand
RUUD



Equipment: AFUE Rating

95.0

AFUE (Annual fuel utilization efficiency) is a metric used to measure furnace efficiency in converting fuel to energy. A higher AFUE rating means greater energy efficiency. 90% or higher meets the Department of Energy's Energy Star program standard.

**Equipment: Filter Size**

16x25x1



Normal Operating Controls: Thermostat Location

Living Room



Observations

5.5.1 Presence of Installed Heat Source in Each Room



Recommendation

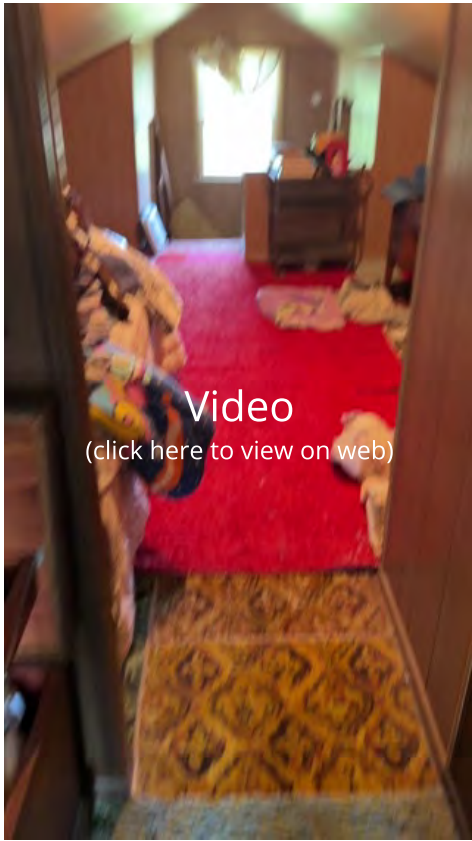
INSUFFICIENT VENTILATION

2ND FLOOR

Ductwork is not present or disconnected to the area in question.
Recommend upgrade or repair by an HVAC contractor at desired.

Recommendation

Contact a qualified heating and cooling contractor



Video
(click here to view on web)

6: COOLING

6.1	General
6.2	Cooling Equipment
6.3	Normal Operating Controls
6.4	Distribution System
6.5	Presence of Installed Cooling Source in Each Room

Information

Cooling Equipment: Date of Manufacture 07/01/2002	Cooling Equipment: Location Exterior West	Distribution System: Configuration Central
Cooling Equipment: Brand Goodman		



Cooling Equipment: Energy Source/Type

Electric



Normal Operating Controls: Thermostat Location

Living Room



Observations

6.2.1 Cooling Equipment

INSULATION MISSING OR DAMAGED



Maintenance Item

NORTH

Missing or damaged insulation on refrigerant line can cause energy loss and condensation. Recommend replacing the degrading or damaged insulation material with new.

Recommendation

Contact a handyman or DIY project



7: PLUMBING

7.1	General
7.2	Main Water Shut-off Device
7.3	Water Supply, Distribution Systems & Fixtures
7.4	Drain, Waste, & Vent Systems
7.5	Hot Water Systems, Controls, Flues & Vents
7.6	Fuel Storage & Distribution Systems
7.7	Sump Pump

Information

General: Filters

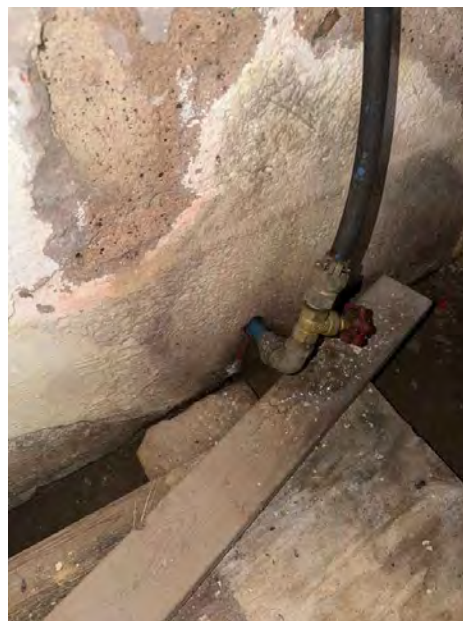
None

General: Water Source

Public

Water Supply, Distribution Systems & Fixtures: Distribution Material

Pex

**Drain, Waste, & Vent Systems:****Drain Size**

1 1/2"

**Hot Water Systems, Controls,
Flues & Vents: Capacity**

40 Gallons

**Hot Water Systems, Controls,
Flues & Vents: Date of
Manufacture**

01/01/2000

**Hot Water Systems, Controls,
Flues & Vents: Location**

Basement

**Fuel Storage & Distribution
Systems: Main Gas Shut-off
Location**

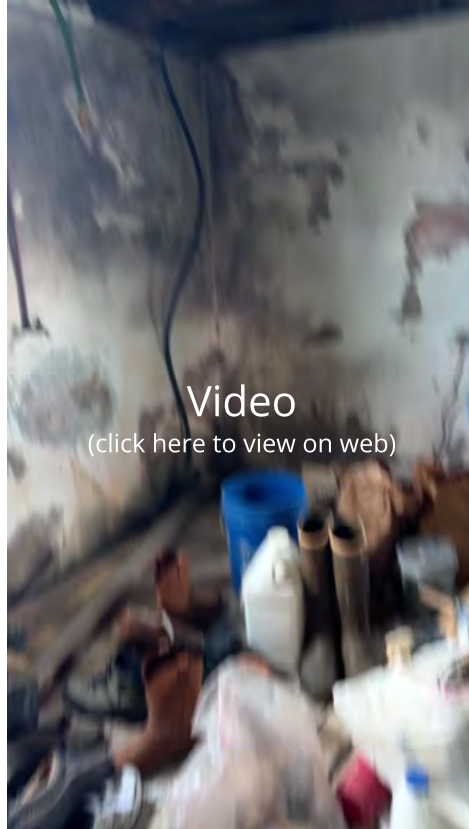
Gas Meter

**Sump Pump: Location**

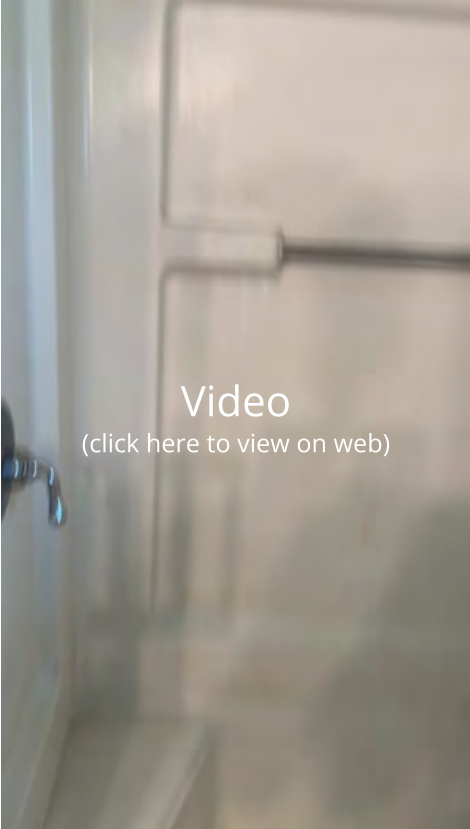
None

Main Water Shut-off Device: Location

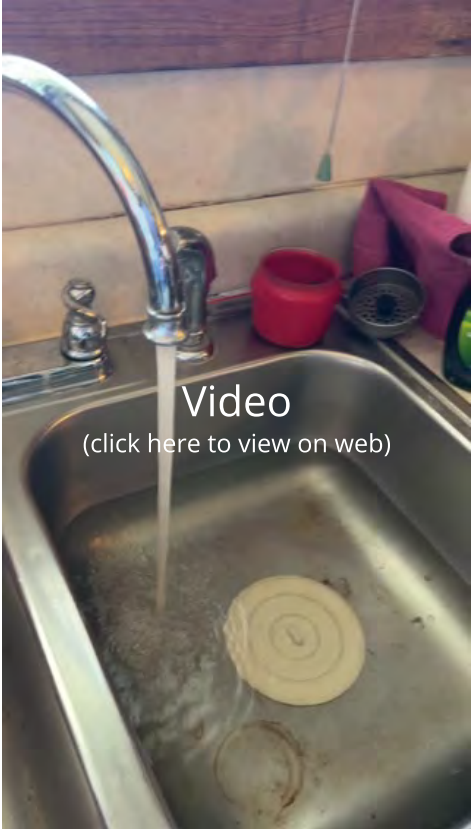
Basement



Water Supply, Distribution Systems & Fixtures: Water Supply Material
Copper, Pex



Video
(click here to view on web)

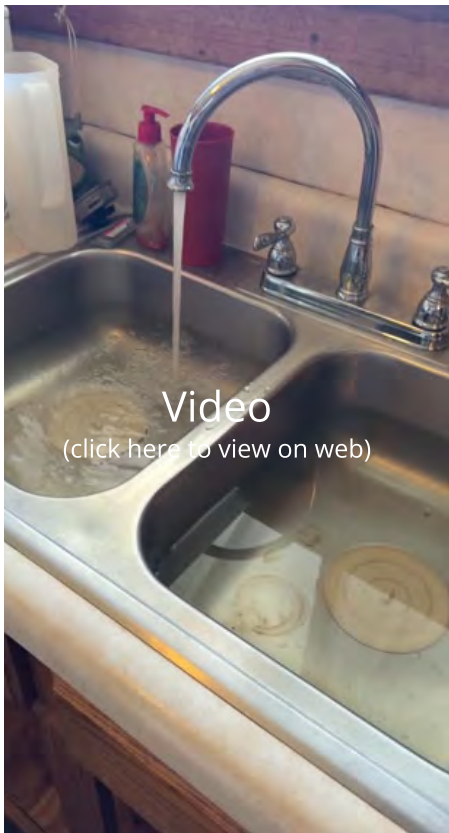
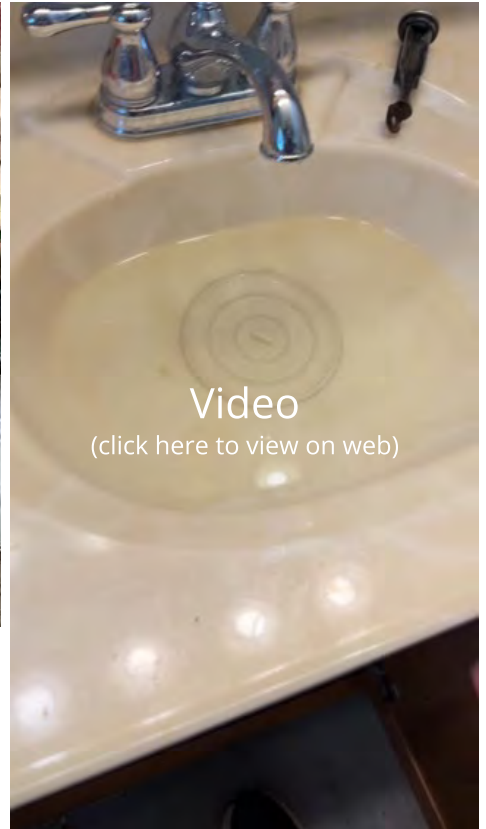


Video
(click here to view on web)



Drain, Waste, & Vent Systems: Material

PVC, Iron, Clay Tile



Hot Water Systems, Controls, Flues & Vents: Manufacturer

Richmond

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

[Here is a nice maintenance guide from Lowe's to help.](#)

Hot Water Systems, Controls, Flues & Vents: Power Source/Type

Natural Gas



Observations

7.3.1 Water Supply, Distribution Systems & Fixtures

FIXTURE LOOSE/LEAKING OR DAMAGED

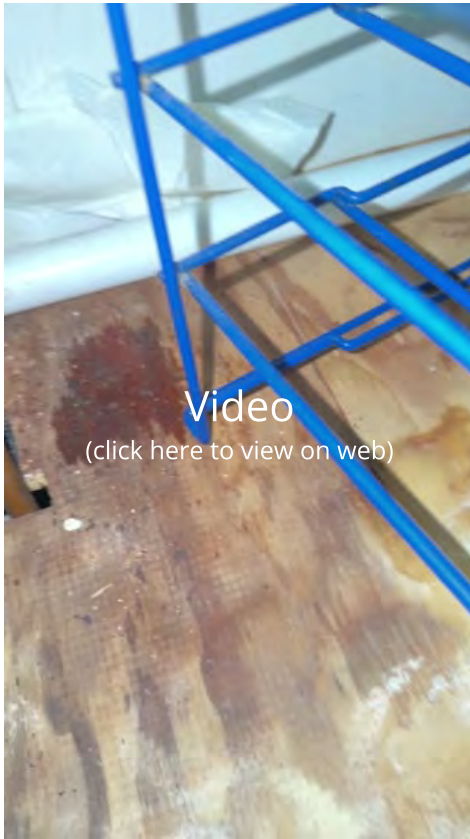
KITCHEN

Fixture is loose, leaking or damaged. Recommend a qualified plumber evaluate and repair to prevent water damage.

Recommendation

Contact a qualified plumbing contractor.





7.4.1 Drain, Waste, & Vent Systems

IMPROPER/INCOMPLETE CONNECTION

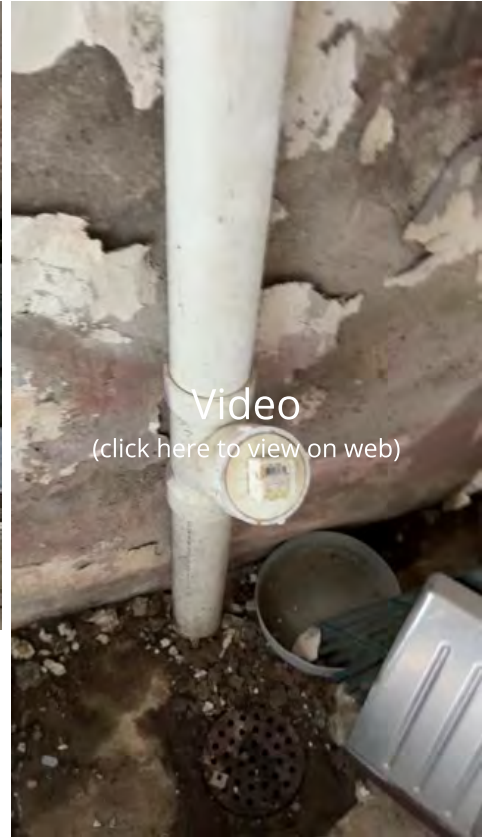
BATHROOM, BASEMENT

An improper or incomplete connection was observed at a drain, waste or vent pipe. Recommend a qualified plumber evaluate and repair.

Recommendation

Contact a qualified plumbing contractor.





7.4.2 Drain, Waste, & Vent Systems

SINK/SHOWER - POOR DRAINAGE

BATHROOM

Sink/Shower was observed to have slow/poor drainage. Recommend a qualified plumber clean drain.

Recommendation

Contact a qualified plumbing contractor.



Maintenance Item



Video
(click here to view on web)

8: ELECTRICAL

8.1	Service Entrance Conductors
8.2	Lighting Fixtures, Switches & Receptacles
8.3	GFCI & AFCI
8.4	Smoke/Carbon Monoxide Detectors
8.5	Branch Wiring Circuits, Breakers & Fuses
8.6	Main & Subpanels, Service & Grounding, Main Overcurrent Device

Information

Branch Wiring Circuits, Breakers & Fuses: Branch Wire 15 and 20 AMP
Copper



Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Breaker Capacity
100 AMP



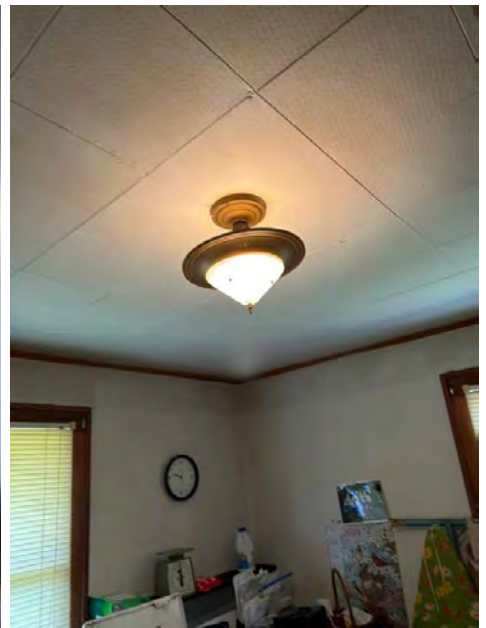
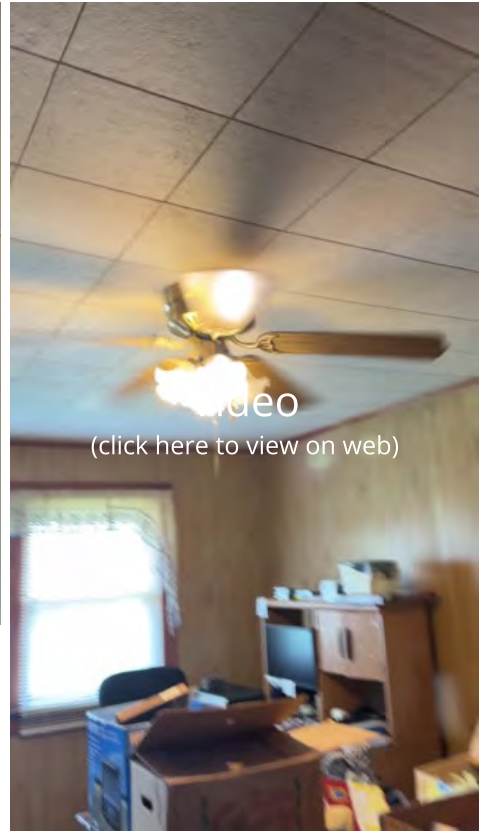
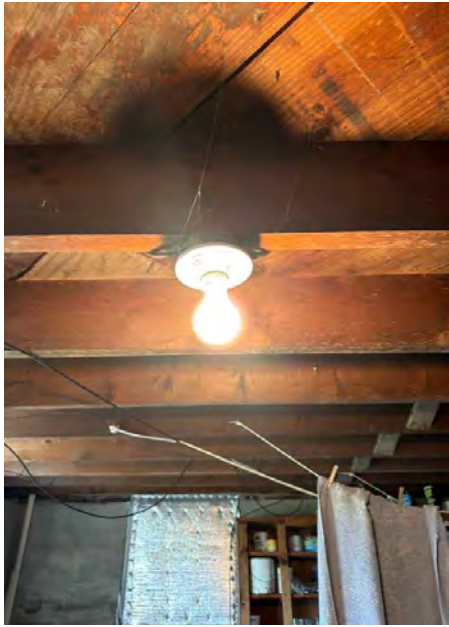
Main & Subpanels, Service & Grounding, Main Overcurrent Device: Sub Panel Location
Basement



Service Entrance Conductors: Electrical Service Conductors Overhead

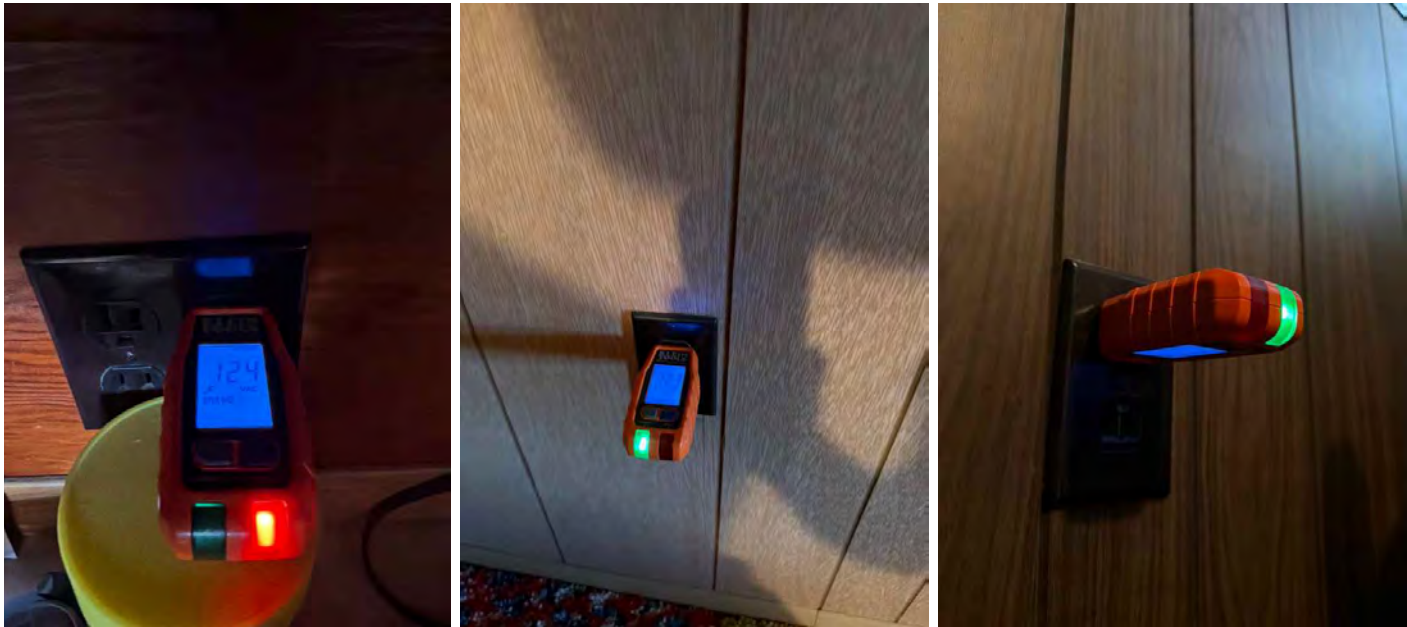


Lighting Fixtures, Switches & Receptacles: Lights/Fans





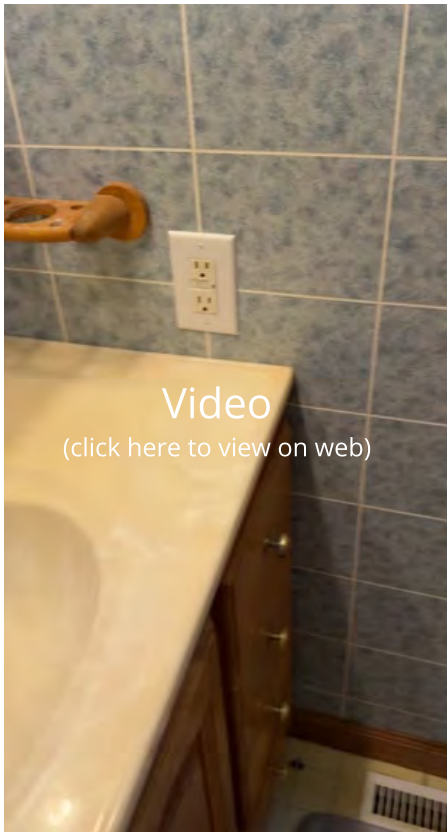
Lighting Fixtures, Switches & Receptacles: Plug Ins



GFCI & AFCI: GFCI

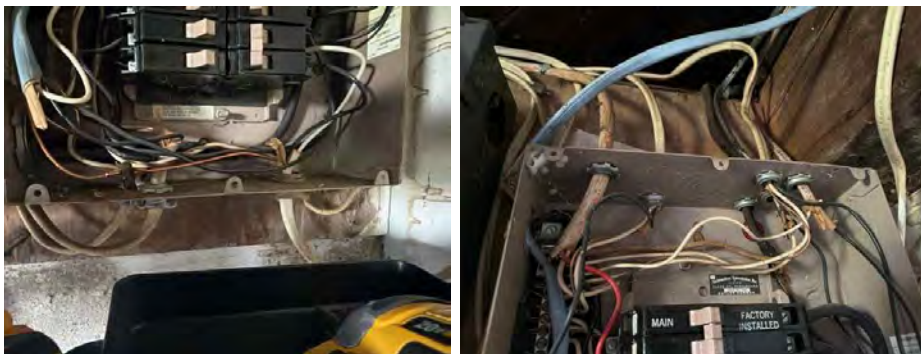
Plug-in is located in kitchens, bathrooms, garage or exterior of the home should be GFCI protected.

[Here is a link](#) to read about how GFCI receptacles keep you safe.



Branch Wiring Circuits, Breakers & Fuses: Wiring Method

Romex



Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Panel Location
Basement



Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Manufacturer
Unknown



Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Type

Circuit Breaker, Fuses

Here's a helpful link to better understand the difference between fuses (fuse box) and breakers (electric panel).

<https://waypointinspection.com/fuse-boxes-vs-electrical-panels/>



Observations

8.2.1 Lighting Fixtures, Switches & Receptacles

COVER PLATES MISSING/DAMAGED

BASEMENT

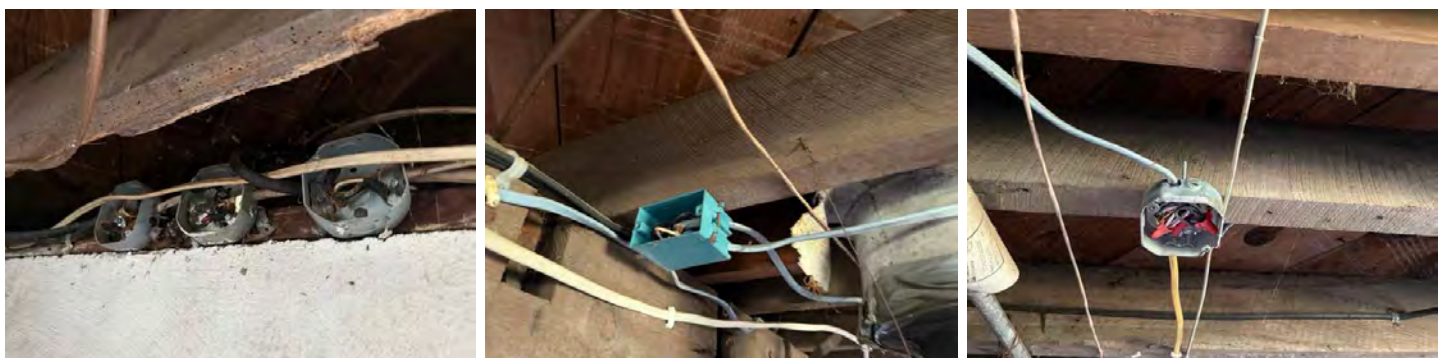
One or more receptacles have missing or damaged cover plate. This increases short and shock risk. Recommend installation of plates.

Recommendation

Contact a qualified handyman.



Maintenance Item



8.2.2 Lighting Fixtures, Switches & Receptacles

INADEQUATE NUMBER OF RECEPTACLES

KITCHEN

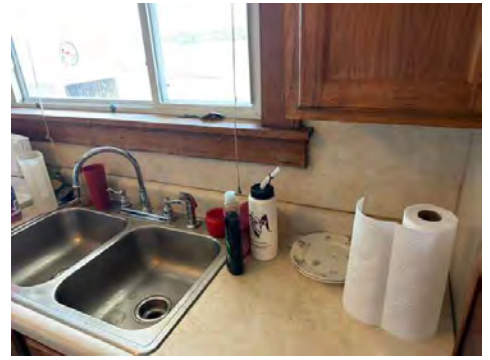


Recommendation

There is a minimal number of receptacles in the home. This can cause a short circuit if increased demand is present. Recommend licensed electrician install additional receptacles.

Recommendation

Contact a qualified electrical contractor.



8.2.3 Lighting Fixtures, Switches & Receptacles



Maintenance Item

LIGHT/FAN INOPERABLE

WEST

One or more lights or fans were not operating. New light bulb possibly needed or replacement of the fixture by a qualified professional.

Recommendation

Contact a handyman or DIY project



8.2.4 Lighting Fixtures, Switches & Receptacles



Recommendation

UNGROUND RECEPTACLE(S)

1ST FLOOR

One or more receptacles are ungrounded. To eliminate safety hazards, all receptacles in kitchen, bathrooms, garage & exterior should be grounded. This is something that that is common to see in this age of home. You may repair if desired.

Recommendation

Contact a qualified electrical contractor.





8.2.5 Lighting Fixtures, Switches & Receptacles

MISSING/DAMAGED SCNCE(S)/FAN BALDE(S)

STAIRWELL, WEST

One or more light fixtures were missing scone(s). The scone is the decorative cover of the light. Some light fixtures have replacement sconces. Others are more difficult to obtain.

Recommendation

Contact a handyman or DIY project



8.4.1 Smoke/Carbon Monoxide Detectors

INAPPROPRIATE LOCATION/MISSING

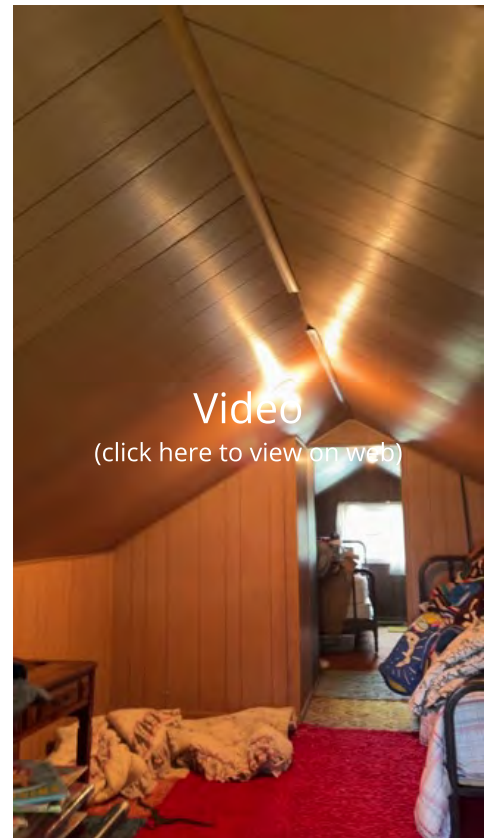
MULTIPLE



Smoke/ Carbon Monoxide detector effectiveness may be compromised due to location. Recommend relocating or adding detectors according to manufacturer's instructions.

Recommendation

Contact a handyman or DIY project



8.5.1 Branch Wiring Circuits, Breakers & Fuses



Recommendation

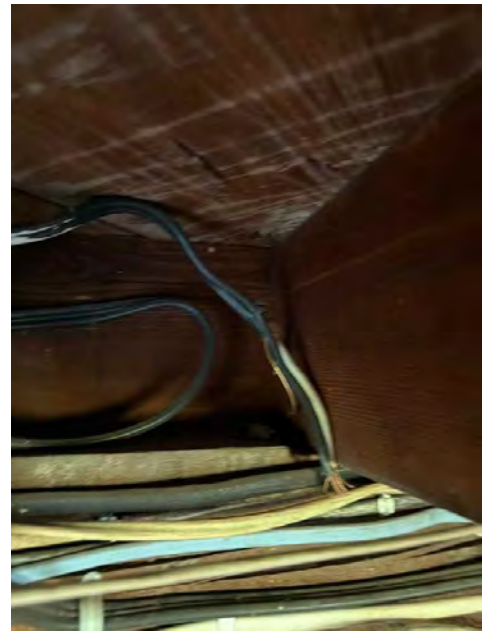
IMPROPER WIRING

BASEMENT

One or more instances of improper wiring were identified. Recommend a qualified electrician repair.

Recommendation

Contact a qualified electrical contractor.



8.6.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device



Safety Hazard

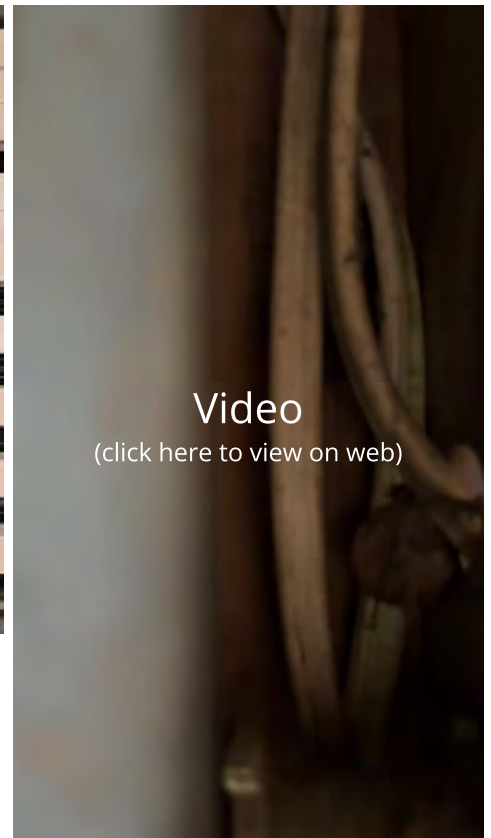
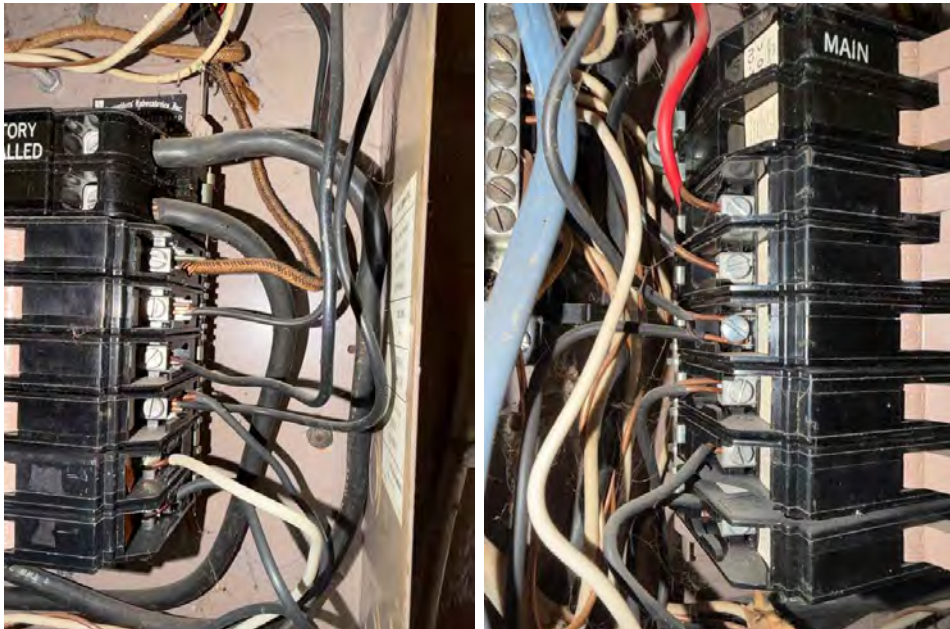
BREAKER INCORRECTLY WIRED

BASEMENT

Circuit breaker was incorrectly wired/installed. This indicates that work was probably not performed by a licensed electrician and poses a safety hazard. Recommend that a licensed electrician check the entire panel and repair and replace as need.

Recommendation

Contact a qualified electrical contractor.



8.6.2 Main & Subpanels, Service & Grounding, Main Overcurrent Device



Recommendation

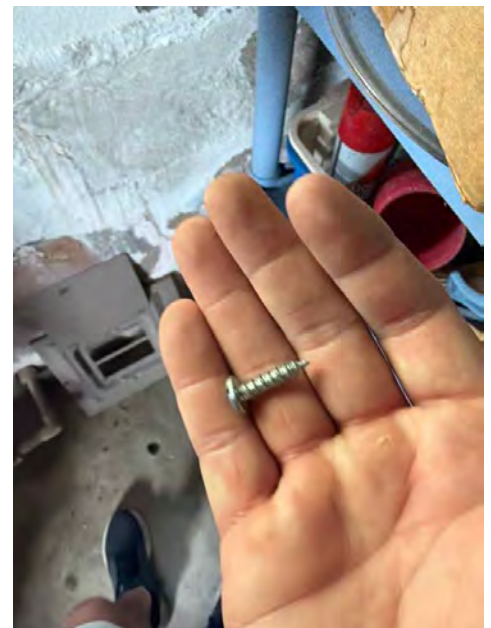
MISSING/INCORRECT DEAD-FRONT SCREW(S)

BASEMENT

Electrical panel covers should be held in place with blunt tipped machine screws. Blunt tips push wires out of the way if contact is made. Recommend installation of the proper type of screw(s).

Recommendation

Contact a qualified electrical contractor.



8.6.3 Main & Subpanels, Service & Grounding, Main Overcurrent Device



Recommendation

CORROSION

BASEMENT

Electric panel was observed to have a fairly high level of corrosion. This could indicate that high levels of moisture are in areas surrounding the panel. I recommend trying to reduce all moisture in the area of the electrical panel.

Recommendation

Contact a qualified electrical contractor.



9: ATTIC, INSULATION & VENTILATION

9.1	General
9.2	Exhaust Systems

Information

General: Dryer Power Source
220 Electric

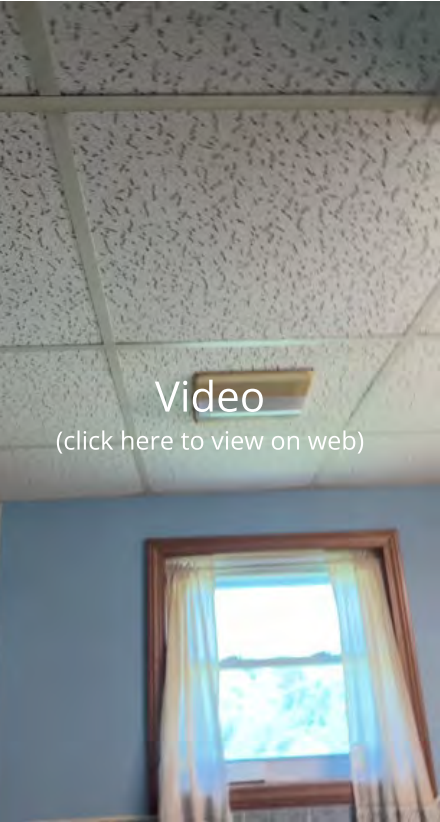


General: Dryer Vent
Metal (Flex)



General: Flooring Insulation
None

Exhaust Systems: Exhaust Fans
Fan with Light



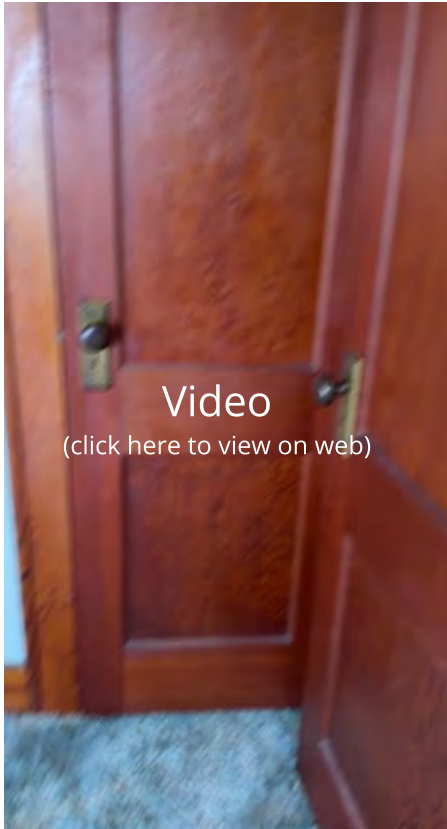
10: DOORS, WINDOWS & INTERIOR

10.1	Doors
10.2	Windows
10.3	Floors
10.4	Walls
10.5	Ceilings
10.6	Steps, Stairways & Railings
10.7	Countertops & Cabinets

Information

Windows: Window Manufacturer
Unknown

Doors: Doors



Windows: Window Type

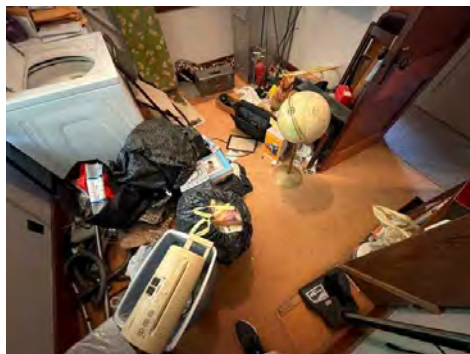
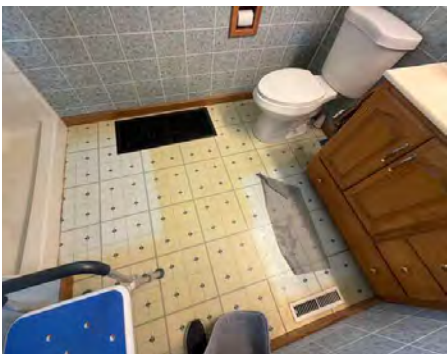
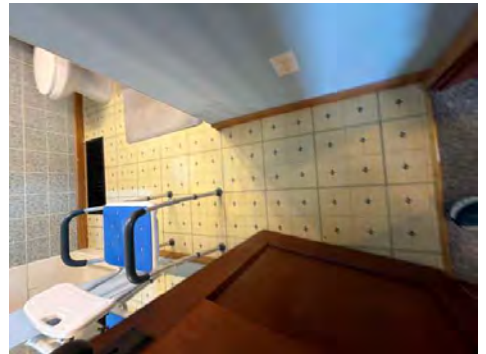
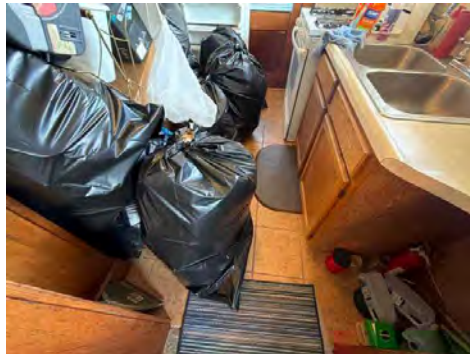
Single-hung, Sliders





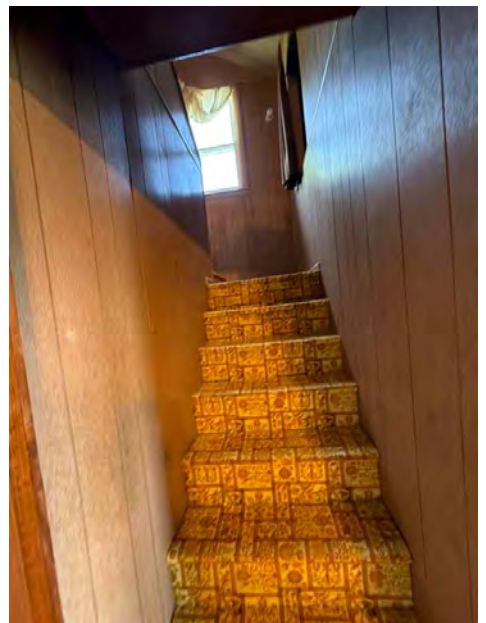
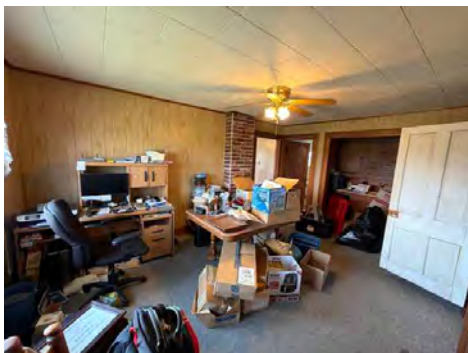
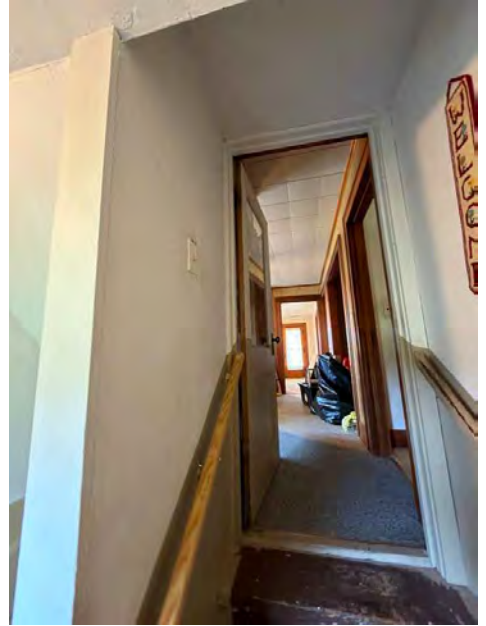
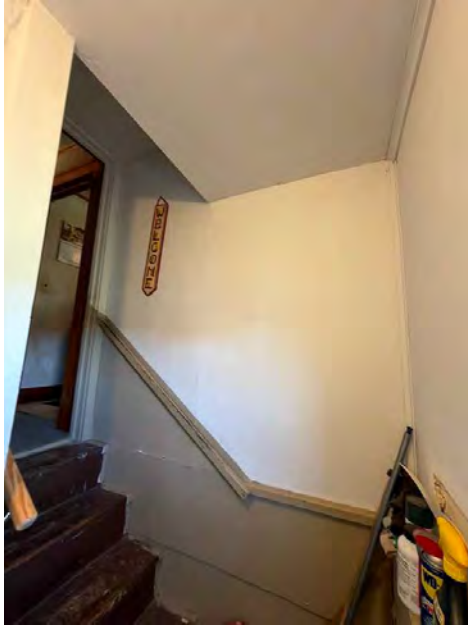
Floors: Floor Coverings

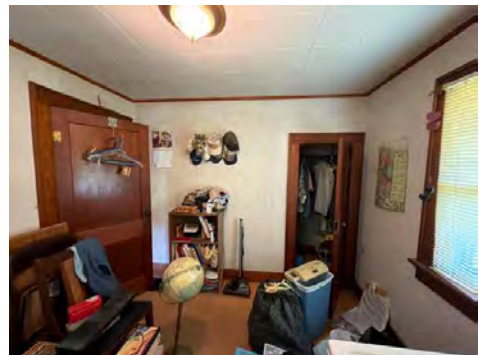
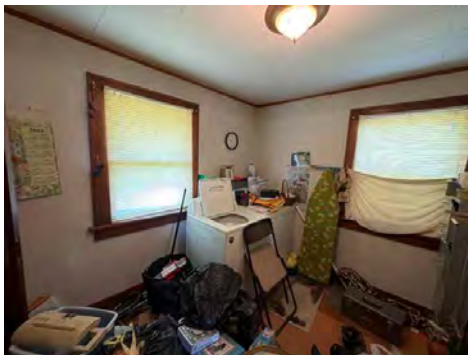
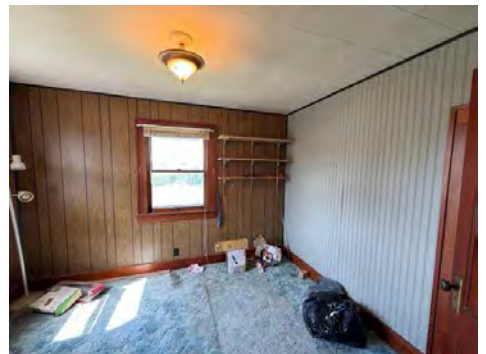
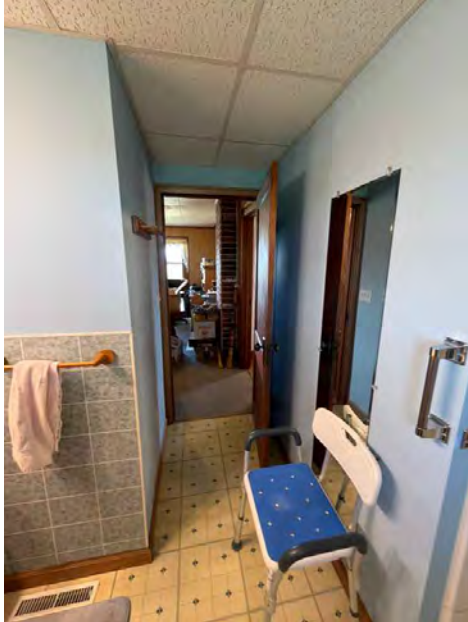
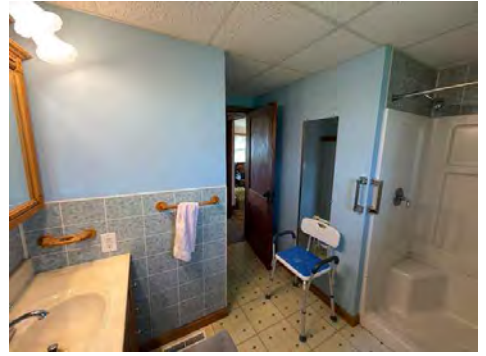
Carpet



Walls: Wall Material

Drywall, Paneling

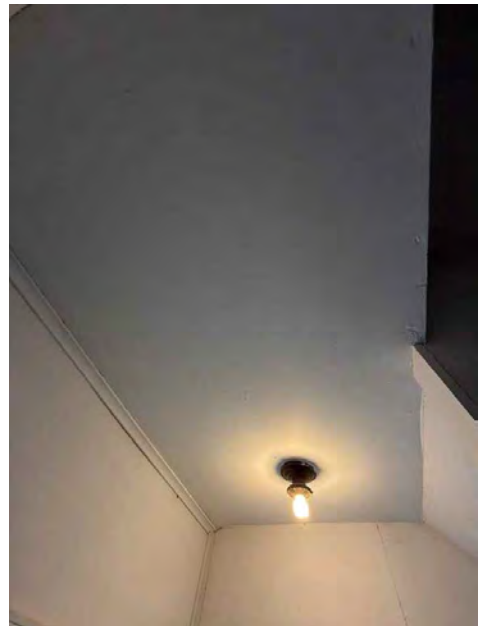
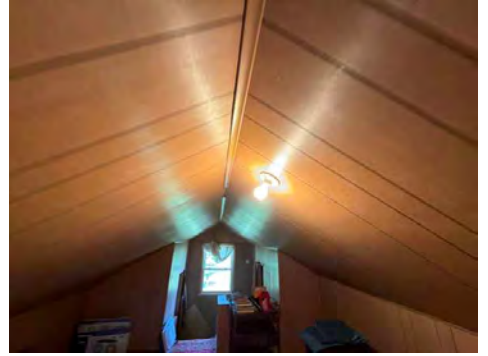


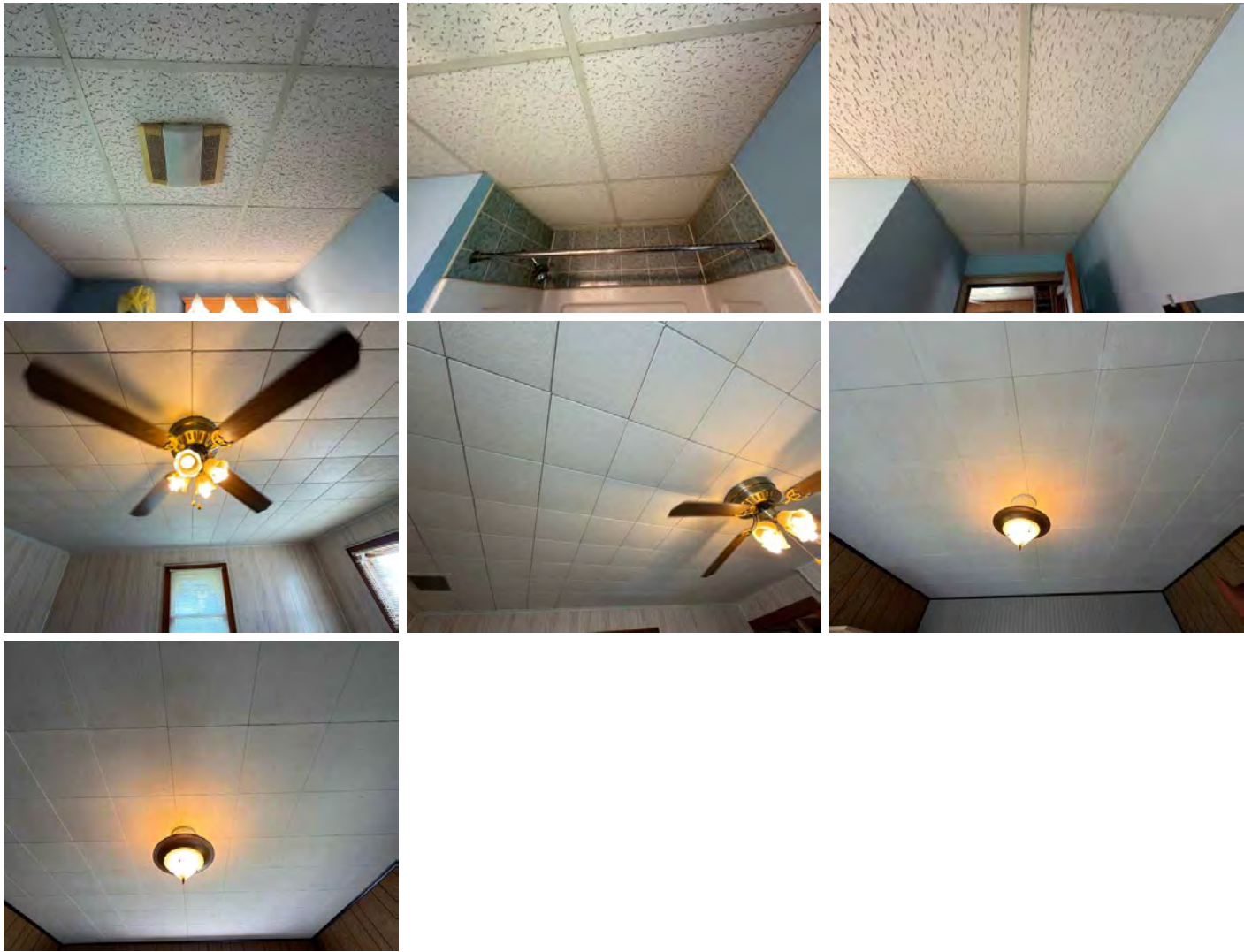




Ceilings: Ceiling Material

Ceiling Tiles, Paneling



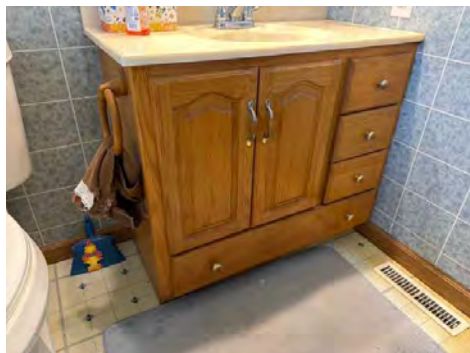
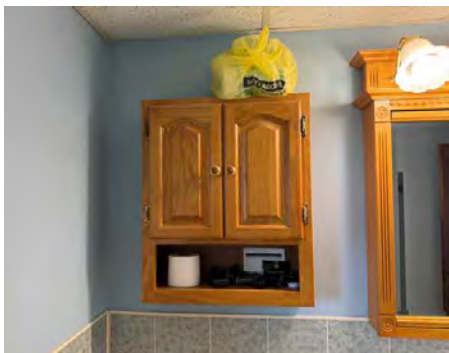
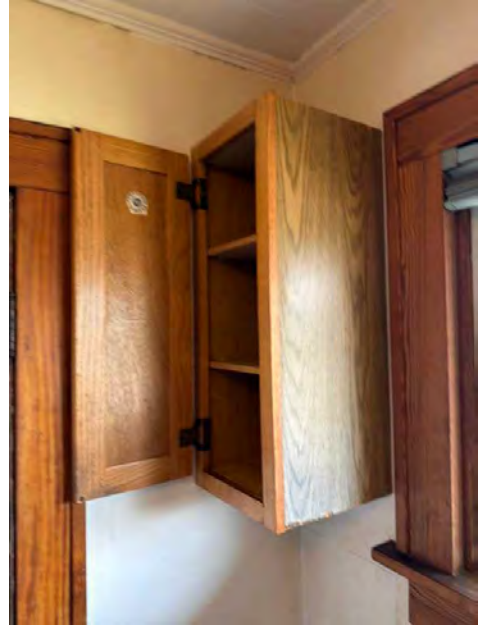


Steps, Stairways & Railings: Stairs and Railings



Countertops & Cabinets: Cabinetry

Wood



Countertops & Cabinets: Countertop Material

Laminate, Porcelain

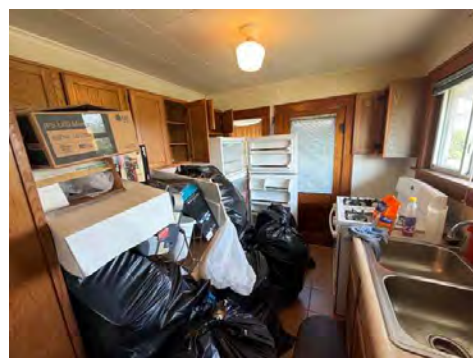


Limitations

Walls

OCCULED VIEW

Some views of the walls were occluded by owners belongings.



Observations

10.1.1 Doors

DOOR STICS

NW BEDROOM

Door sticks and is tough to open or close. Recommend sanding down or cutting back offending sides.

Recommendation

Contact a qualified handyman.



Maintenance Item



10.1.2 Doors

HARDWARE MISSING/DAMAGED

DINING ROOM

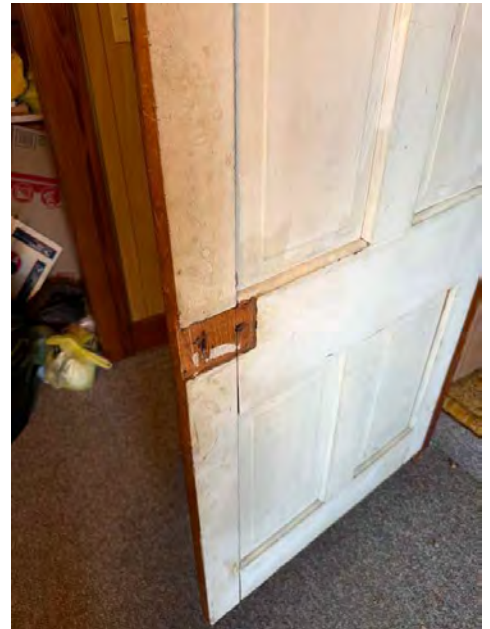


Maintenance Item

The handset or locking mechanisms hardware was damaged on the door. Recommend handyman repair or replace.

Recommendation

Contact a qualified handyman.



10.1.3 Doors

DOOR MISSING

LIVING ROOM

Door was observed to be missing at time of inspection. Recommend installation of door if desired.

Recommendation

Contact a qualified carpenter.



Recommendation



10.2.1 Windows

DAMAGED

BATHROOM, NW BEDROOM, DINING ROOM

One or more windows appears to have general damage to the pane, but are operational. Recommend a window professional clean, lubricate & adjust as necessary.

Recommendation

Contact a qualified window repair/installation contractor.



Recommendation



10.2.2 Windows

FAILED SEAL/DAMAGED PANE

2ND FLOOR WEST

Observed condensation between the window panes which indicates a failed seal. Recommend qualified window contractor evaluate & replace.

Recommendation

Contact a qualified window repair/installation contractor.



Recommendation



10.3.1 Floors

DAMAGED (GENERAL)

NW BEDROOM, BATHROOM, 2ND FLOOR

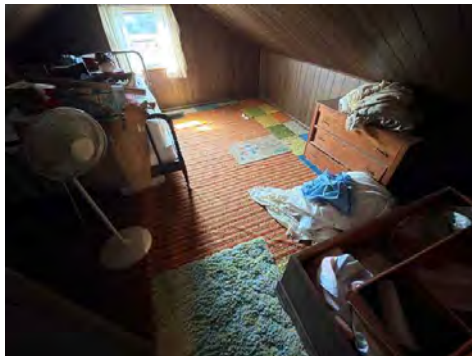
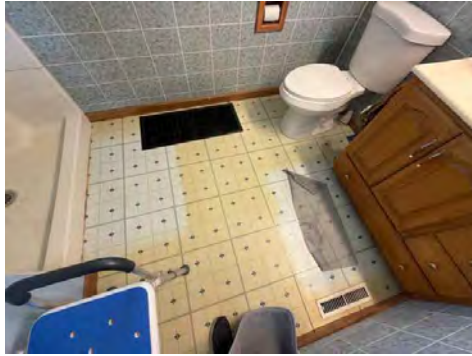
The flooring had general moderate damage or wear visible at the time of the inspection. Recommend service by a qualified contractor.

Recommendation

Contact a qualified flooring contractor



Recommendation



10.4.1 Walls

POOR PATCHING/POOR PAINTING

STAIRWELL, LIVING ROOM

Sub-standard drywall patching or painting observed at time of inspection. Recommend re-patching or paint touch up.

Recommendation

Contact a qualified painting contractor.



Maintenance Item



10.4.2 Walls

MOISTURE DAMAGE

LAUNDRY ROOM CLOSET

Stains on the walls visible at the time of the inspection appeared to be the result of possible moisture intrusion. The source of moisture may have been corrected. Recommend further examination by a qualified contractor to provide confirmation.

Recommendation

Contact a qualified professional.



Recommendation



10.4.3 Walls

MISSING TRIM

STAIRWELL

Trim was observed to be missing in one more locations. This is a cosmetic issue. You may finish off as you desire.

Recommendation

Contact a qualified carpenter.



Maintenance Item



10.4.4 Walls

PEELING WALLPAPER

LAUNDRY ROOM, LAUNDRY ROOM CLOSET

Peeling or cracking wallpaper was identified in one or more locations.

Recommendation

Contact a qualified professional.



Recommendation



10.5.1 Ceilings

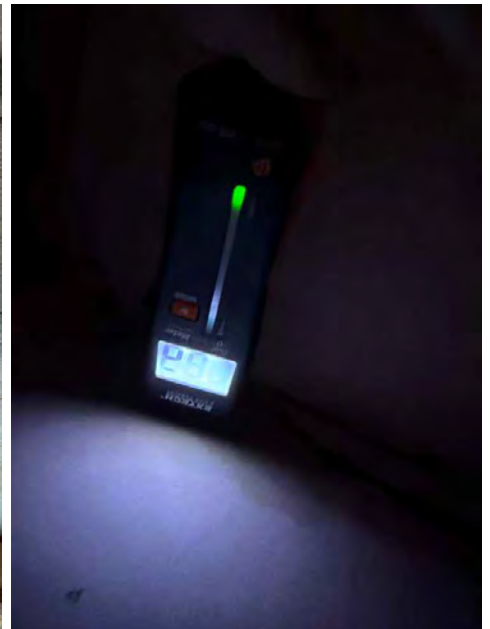
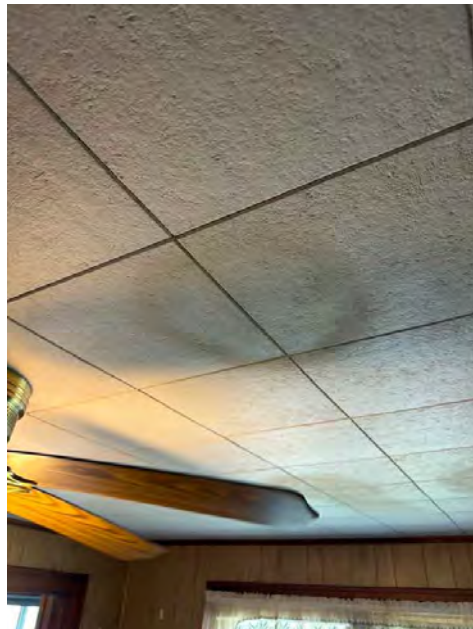
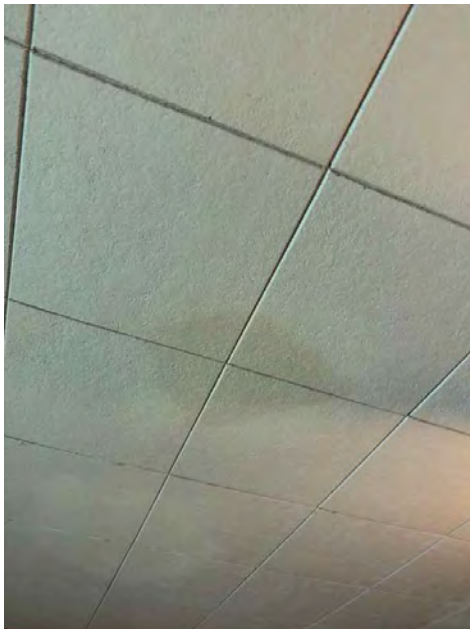
STAIN(S) ON CEILING

DINING ROOM

There is a stain on ceiling/wall that requires repair and paint. Source of staining should be determined. The area was tested with a moisture meter at time of inspection and found to be dry.

Recommendation

Contact a qualified drywall contractor.





10.6.1 Steps, Stairways & Railings

NO HANDRAIL/HANDRAIL STOPS SHORT

2ND FLOOR

Staircase had no handrails. This is a safety hazard. Recommend a qualified carpenter install a handrail.

Recommendation

Contact a qualified carpenter.



10.7.1 Countertops & Cabinets

CABINET(S)/COUNTERTOP(S) DAMAGED GENERAL

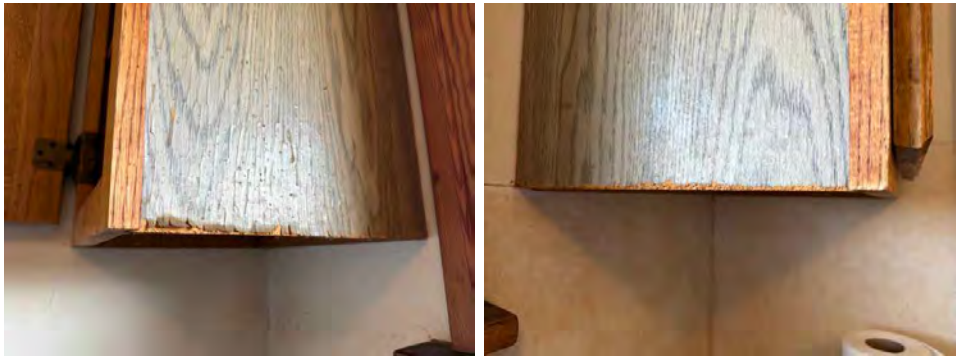
KITCHEN

Cabinet(s) or countertop(s) had visible damage at time of inspection. Recommend a qualified cabinets contractor evaluate and repair.

Recommendation

Contact a qualified cabinet contractor.





11: BUILT-IN APPLIANCES

11.1	Refrigerator
11.2	Range/Oven/Cooktop

Information

Refrigerator: Brand
Maytag



Range/Oven/Cooktop: Exhaust Hood Type
None

Range/Oven/Cooktop: Range/Oven Energy Source
Gas



Range/Oven/Cooktop: Range/Oven Brand

Amana

**Observations**

11.2.1 Range/Oven/Cooktop

EXHAUST SYSTEM MISSING
KITCHEN

Recommendation

No exhaust system present to prevent moisture and grease in kitchen area. Recommend qualified contractor install range hood or exhaust system.

[Here is a resource on choosing a range hood.](#)

Recommendation

Contact a qualified electrical contractor.



12: SEWER SCOPE

Information

General: Material

PVC, Cast Iron, Clay Tile



General: Cleanout/Entrance Location

Basement



Observations

12.1.1 General

OFFSET PIPE(S)

BURIED DRAIN LINE

At one or more location(s) at a pipe union the pipe and fitting are offset. This can result in blockages and backups if not addressed. Recommend repair by a qualified contractor.

Recommendation

Contact a qualified plumbing contractor.



Recommendation



12.1.2 General

BACKED UP SEWER LINE

BURIED DRAIN LINE

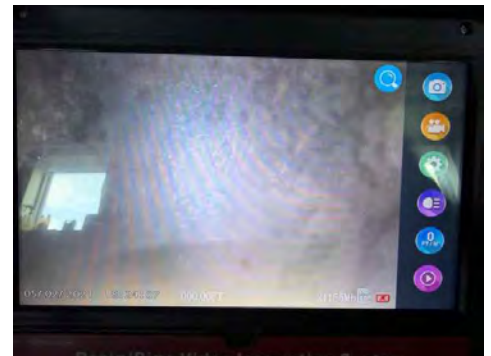
The sewer line was backed up with water and other debris. The line was not able to be fully scoped due to backup. Recommend roto-rooter or hydro-jetting or pumping of tank by qualified contractor and re-scoping of the sewer line after cleaning.

Recommendation

Contact a qualified plumbing contractor.



Recommendation



13: ENTRY AND EXIT CHECKS

13.1	Water (On/Off)
13.2	HVAC/Thermostat (Set Point)
13.3	Electrical (Breakers and Lights)
13.4	Appliances (On/Off)
13.5	Exterior Doors (Locks)
13.6	Security System (Armed/Unarmed)
13.7	Lock Box (Keys)
13.8	Realtor, Client, Homeowner

Information

Water (On/Off): Main Shut Off (Entry)
On

Water (On/Off): Main Shut Off (Exit)
On

HVAC/Thermostat (Set Point): HVAC/Thermostat Set Point (Entry)
Cooling On



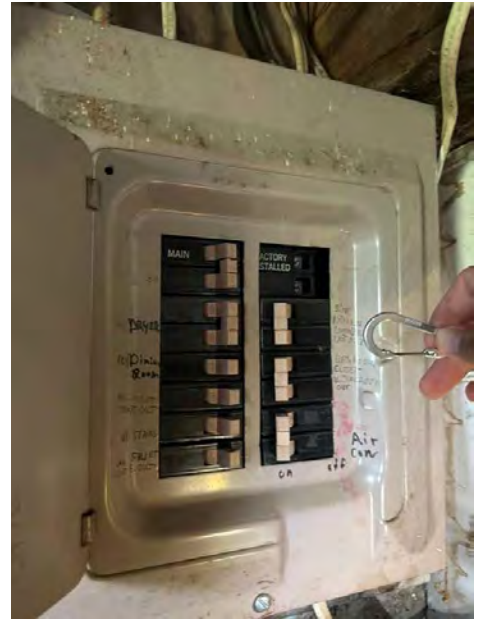
HVAC/Thermostat (Set Point):
HVAC/Thermostat Set Point (Exit)
 Cooling On



Electrical (Breakers and Lights):
Breakers (Entry)
 Breaker Positions



Electrical (Breakers and Lights):
Breakers (Exit)
 Breaker Positions



Electrical (Breakers and Lights):
Lights (Entry)
 Lights Off, Fans Off
 Living Room Fans On

Electrical (Breakers and Lights):
Lights (Exit)
 Lights Off, Fans Off

Appliances (On/Off): Oven/Range
(Entry)
 Off

Appliances (On/Off):
Refrigerator/Freezer (Entry)
 Off

Appliances (On/Off):
Refrigerator/Freezer (Exit)
 Off

Exterior Doors (Locks): Exterior
Doors (Entry)
 Unlocked

Exterior Doors (Locks): Exterior
Doors (Exit)
 Locked

Security System
(Armed/Unarmed): Security
System (Entry)
 None Installed/Inactive

Security System
(Armed/Unarmed): Security
System (Exit)
 None Installed/Inactive

Lock Box (Keys): Lock Box/Keys
(Entry)
 Left Open

Lock Box (Keys): Lock Box/Keys
(Exit)
 No Key

Realtor, Client, Homeowner:
Relinquished Control of Property
 Vacant (Unoccupied)

Appliances (On/Off): Oven/Range (Exit)

Off



STANDARDS OF PRACTICE
