

FARMLAND AUCTION

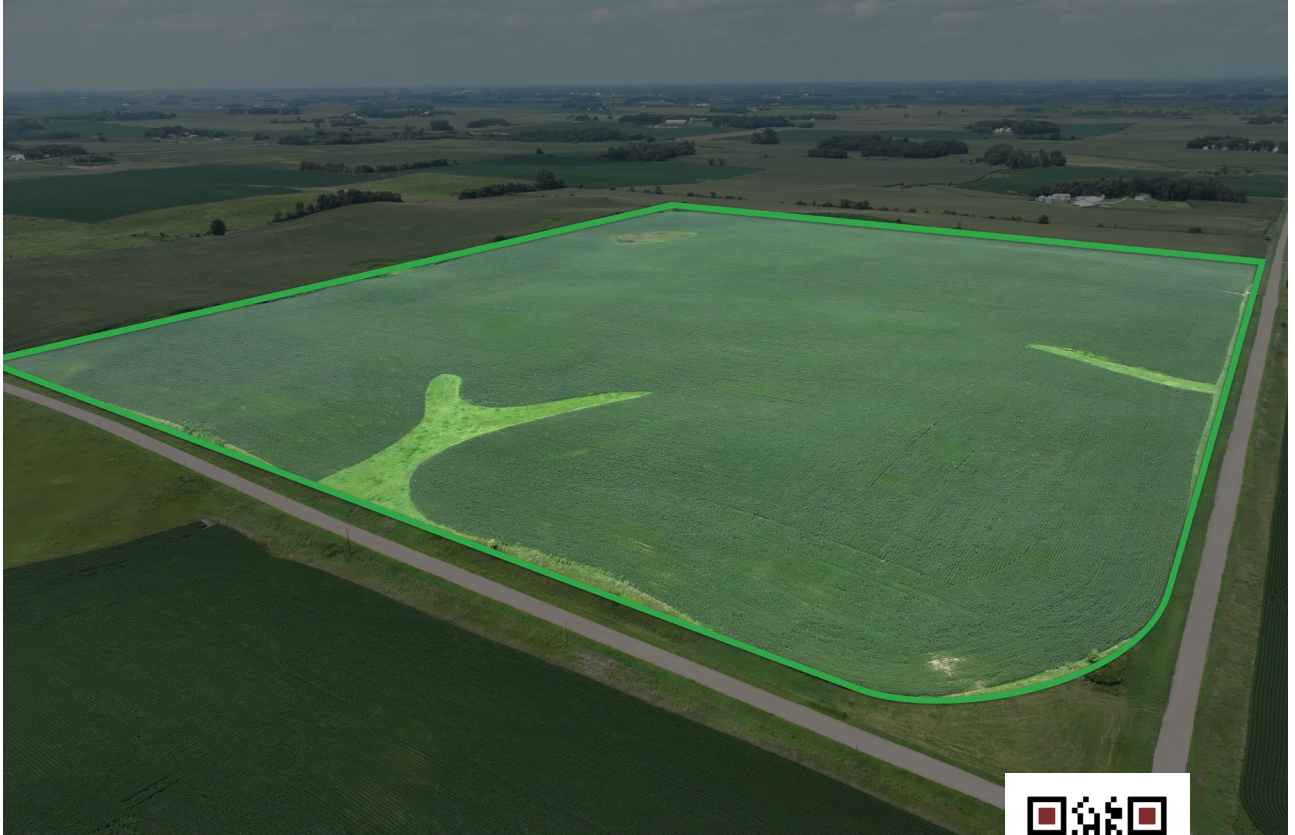


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89.35± ACRES

Priebe Family Farm

Otisco Township, Waseca County, Minnesota



AUCTION LOCATION AND TIME

Friday, September 25, 2026 @ 11:00 a.m.

Waseca County East Annex
300 North State Street, Waseca, MN 56093

Scan to view this
property and
register online.



FOR ADDITIONAL INFORMATION CONTACT:

Charles Wingert, ALC

BROKER, ACCREDITED LAND CONSULTANT

AUCTIONEER #07-24-12

Charles@wingertlandservices.com

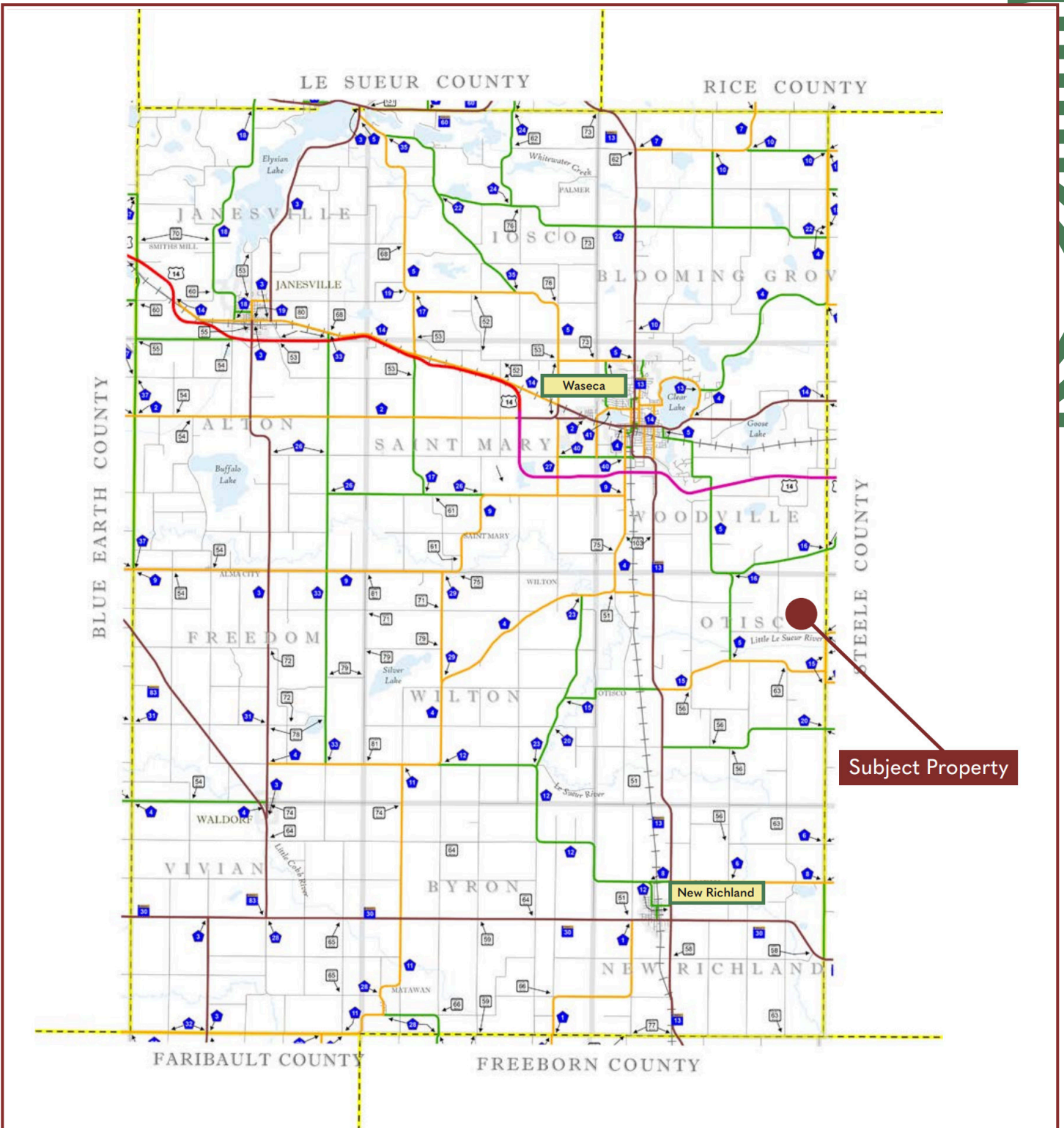
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Waseca County Minnesota

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Otisco Township

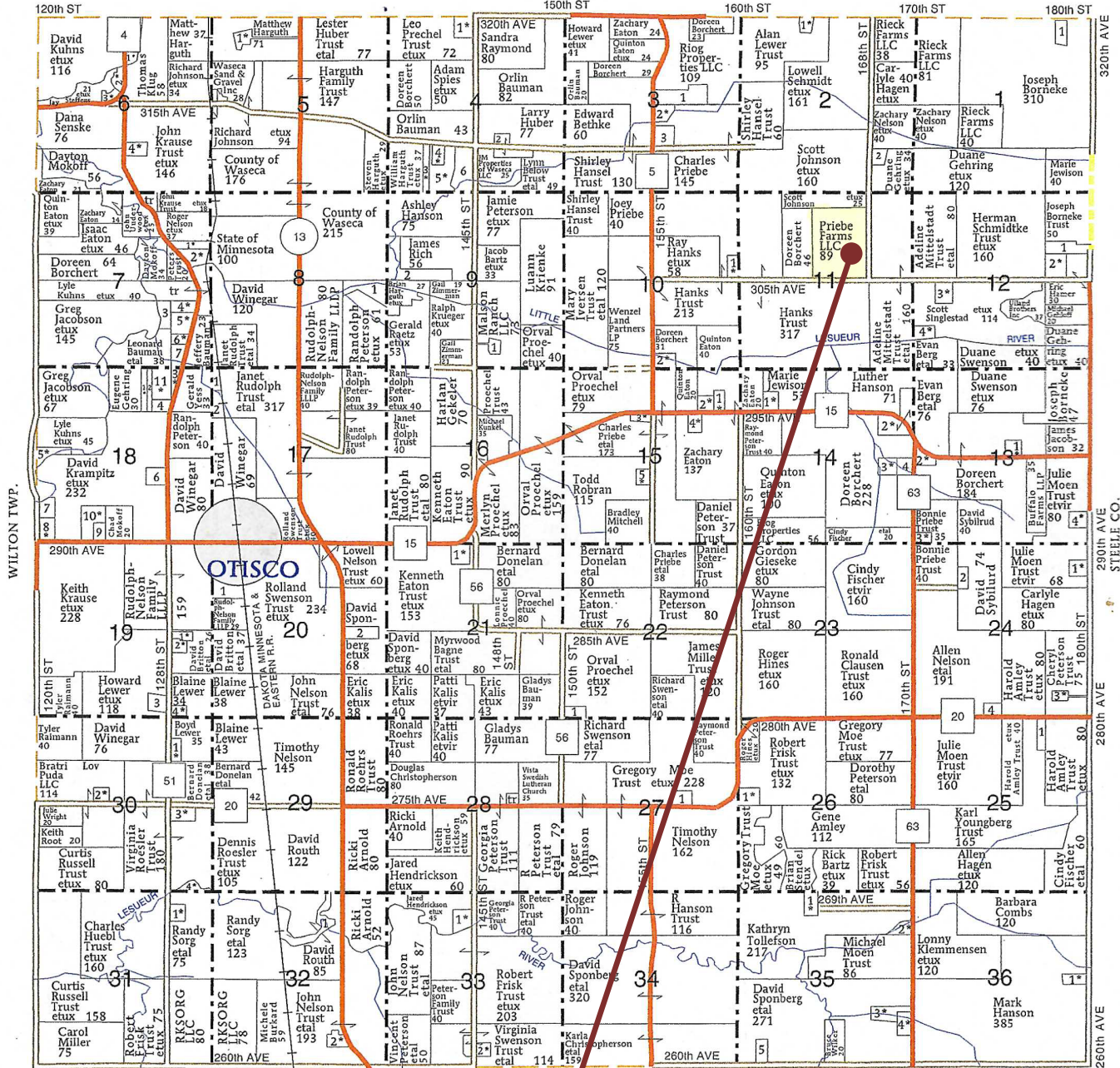
Waseca County | T106N-R22W

T-106-N

OTISCO PLAT

R-22-W

(Landowners)
WOODVILLE TWP.



NEW RICHLAND TWP.

Subject Property

FSA Aerial Map

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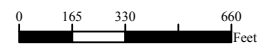
**Waseca County
Minnesota**

**Farm 5192
Tract 2151**

Phy. County: Waseca, MN

2026 Program Year

2023 NAIP Imagery
Map Created 03/31/2026



Unless Otherwise Noted:

All fields are non-irrigated
Shares are 100% to operator
Corn = Yellow for Grain
Soybeans = Common for Grain
Wheat = HRS, HRW = Grain
Sunflowers = Oil, Non-Oil = Grain
Oats & Barley = Spring for Grain
Canola = Spring for Seed
Alfalfa = For Forage
Mix Forage AGM, GMA, IGS = for Forage
Rye = for Grain
Peas = Process
Beans = Dry Edible
Native Annual Grass = for Grazing

Tract Boundary

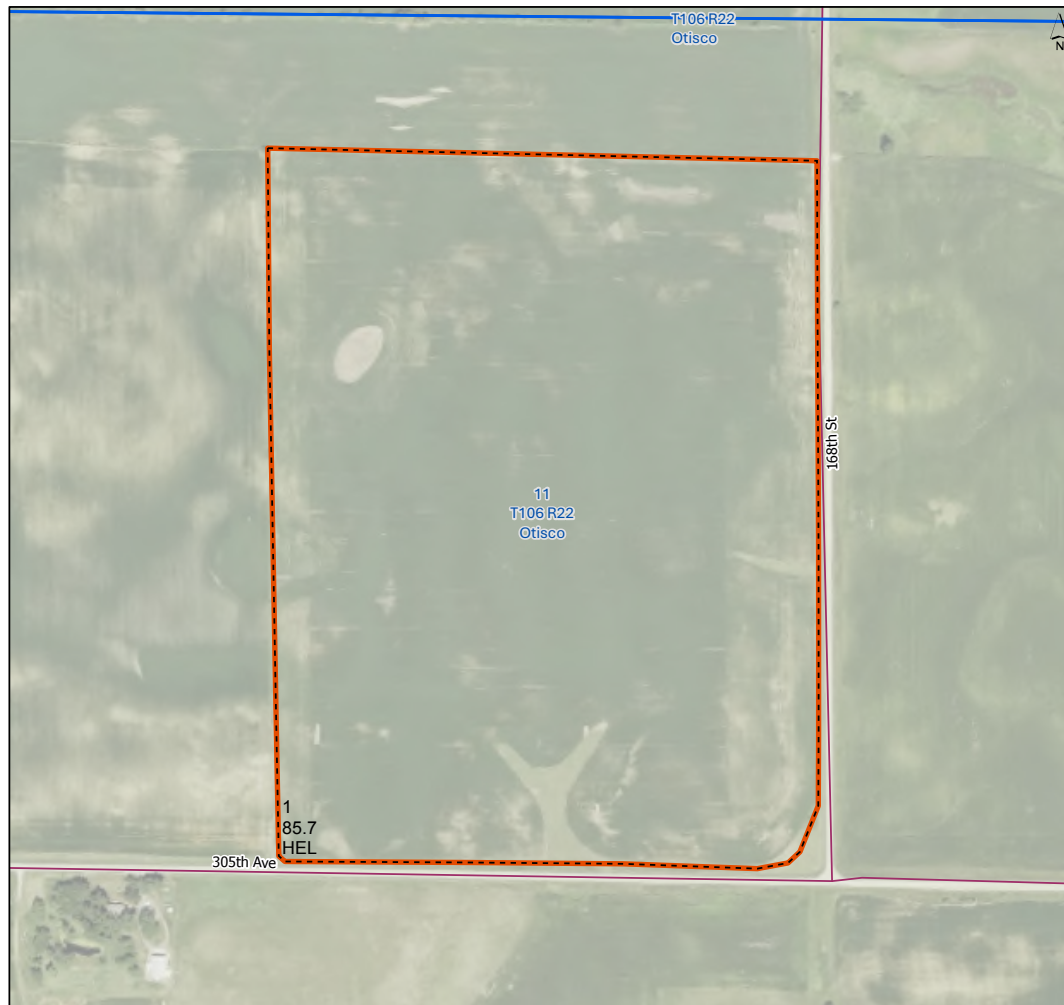
Cropland

PLSS

Wetland Determination Identifiers

- Restricted Use
- Limited Restrictions
- Exempt from Conservation Compliance Provisions

Tract Cropland Total: 85.70 acres



United States Department of Agriculture (USDA) Farm Service Agency (FSA) maps are for FSA Program administration only. This map does not represent a legal survey or reflect actual ownership; rather it depicts the information provided directly from the producer and/or National Agricultural Imagery Program (NAIP) imagery. The producer accepts the data 'as is' and assumes all risks associated with its use. USDA-FSA assumes no responsibility for actual or consequential damage incurred as a result of any user's reliance on this data outside FSA Programs. Wetland identifiers do not represent the size, shape, or specific determination of the area. Refer to your original determination (CPA-026 and attached maps) for exact boundaries and determinations or contact USDA NRCS. USDA is an equal opportunity provider, employer, and lender.



Property Information

DESCRIPTION:	W1/2 of NE1/4 exc N413.47' & E1/2 of NW1/4 exc W893.06' and exc N413.47', Section 11, T106N-R22W		
TAX ID#:	080110500		
REAL ESTATE TAXES:	Estimated Ag Non-Homestead Taxes		\$5,721.60
	Special Assessment		\$48.40
	Total Estimated Tax & Specials		\$5,770.00
FSA INFORMATION:	Total Acres		89.35± acres
	FSA Tillable Acres		85.70± acres
	Corn Base Acres		59.70± acres
	Corn PLC Yield		176.00± bushels
	Soybean Base Acres		19.90± acres
	Soybean PLC Yield		41.00± bushels
LEASE/RENT INFORMATION:	Existing base acres are 79.60 acres leaving 6.10 acres that were not allocated. The One Big Beautiful Bill that was signed into law July, 4, 2025 allows the 6.10 acres to be added to the base. FSA stated the new base acres should be finalized by the end of September. 60% of the 6.10 acres will be allocated to corn base and 40% will be allocated to the soybean base.		
SOIL DESCRIPTION:	Hamel, Reedslake-Le Sueur, Lester Terril, Cordova, Canisteo-Glenco - See Soil Map.		
CROP PRODUCTIVITY INDEX (CPI):	85.6 CPI		
TOPOGRAPHY:	Rolling.		
DRAINAGE:	Private outlets, system and random tiling - See Tile Map.		
CRP:	N/A		
NRCS CLASSIFICATION ON TILLABLE ACRES:	PC/NW - Prior Converted/No Wetlands, HEL - Conservation system being actively applied.		

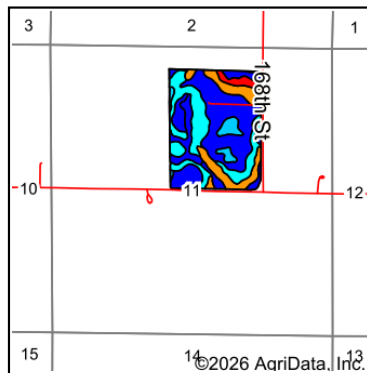
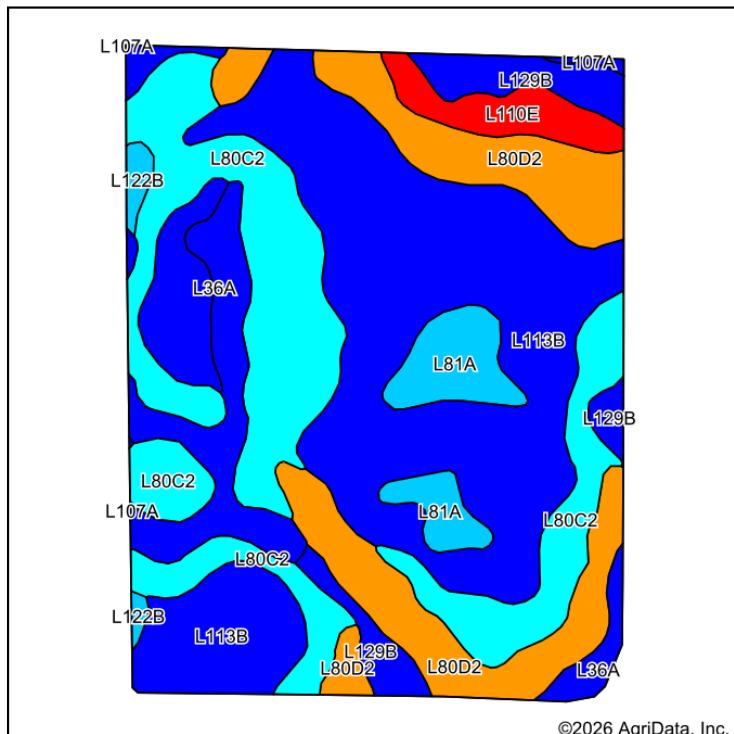
Wingert Land Services stipulated they are representing the Seller exclusively in this transaction.

The information gathered for this brochure in its entirety is from sources deemed reliable, but cannot be guaranteed by Seller, Wingert Land Services, or its staff. Package is subject to prior sale, price change, correction or withdrawal. The buyer must make their own independent investigation of the property. The buyer is purchasing the property "as is, where is, with All Faults" condition.

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Soils Map

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State: **Minnesota**
County: **Waseca**
Location: **11-106N-22W**
Township: **Otisco**
Acres: **85.7**
Date: **8/13/2026**

Maps Provided By:



Soils data provided by USDA and NRCS.

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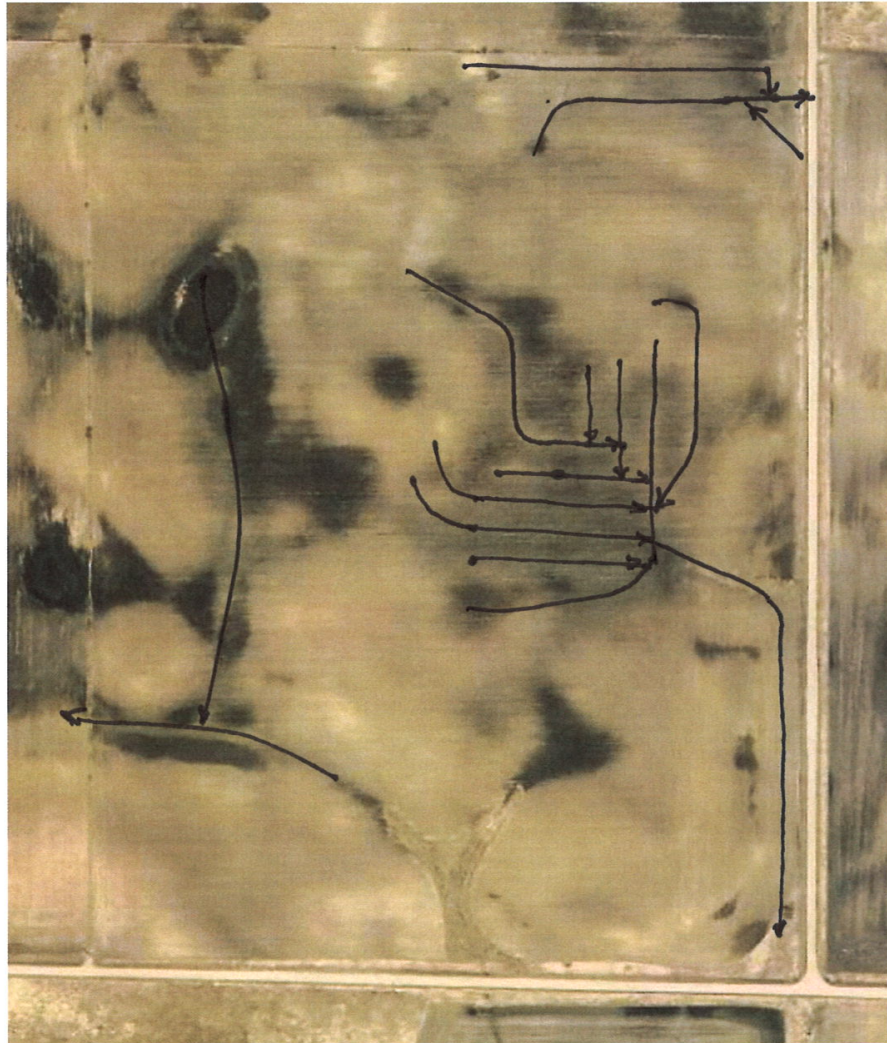
Area Symbol: MN161, Soil Area Version: 20

Code	Soil Description	Acres	Percent of field	PI Legend	Restrictive Layer	Soil Drainage	Non-Irr Class *c	Productivity Index	*n NCCPI Overall
L113B	Reedslake-Le Sueur complex, 1 to 6 percent slopes	33.71	39.3%		> 6.5ft.	Moderately well drained	Ile	98	81
L80C2	Lester loam, 6 to 10 percent slopes, moderately eroded	21.10	24.6%		> 6.5ft.	Well drained	IIle	76	77
L80D2	Lester loam, 10 to 16 percent slopes, moderately eroded	12.80	14.9%		> 6.5ft.	Well drained	IVe	67	73
L36A	Hamel, overwash-Hamel complex, 0 to 3 percent slopes	6.40	7.5%		> 6.5ft.	Somewhat poorly drained	IIlw	97	89
L129B	Terril loam, 2 to 6 percent slopes	4.47	5.2%		> 6.5ft.	Well drained	Ile	99	88
L81A	Cordova clay loam, 0 to 2 percent slopes	3.83	4.5%		> 6.5ft.	Poorly drained	IIlw	87	85
L110E	Lester-Ridgerton complex, 18 to 25 percent slopes	2.57	3.0%		> 6.5ft.	Well drained	VIle	41	65
L122B	Reedslake-Estherville complex, 2 to 6 percent slopes	0.65	0.8%		> 6.5ft.	Well drained	Ile	84	71
L107A	Canisteo-Glencoe complex, 0 to 2 percent slopes	0.17	0.2%		> 6.5ft.	Poorly drained	IIlw	91	81
Weighted Average								2.66	85.6
									*n 79.4

*n: The aggregation method is "Weighted Average using all components"

*c: Using Capabilities Class Dominant Condition Aggregation Method

Tile Map



Property Images

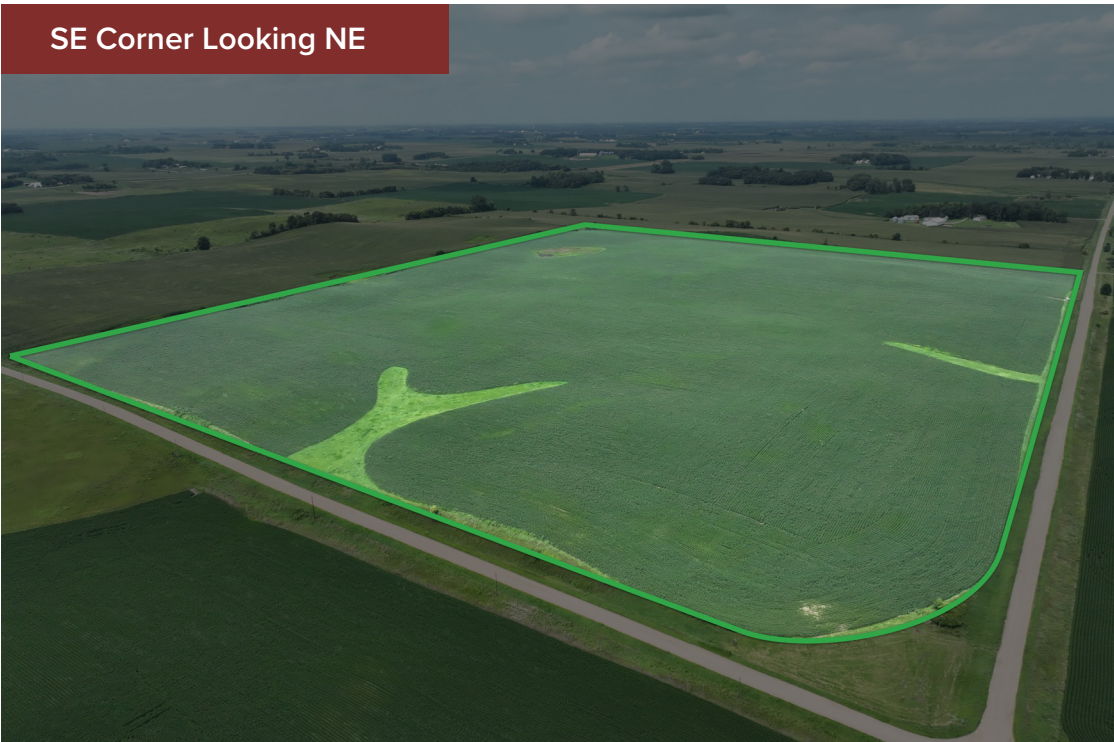
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NE Corner Looking SW

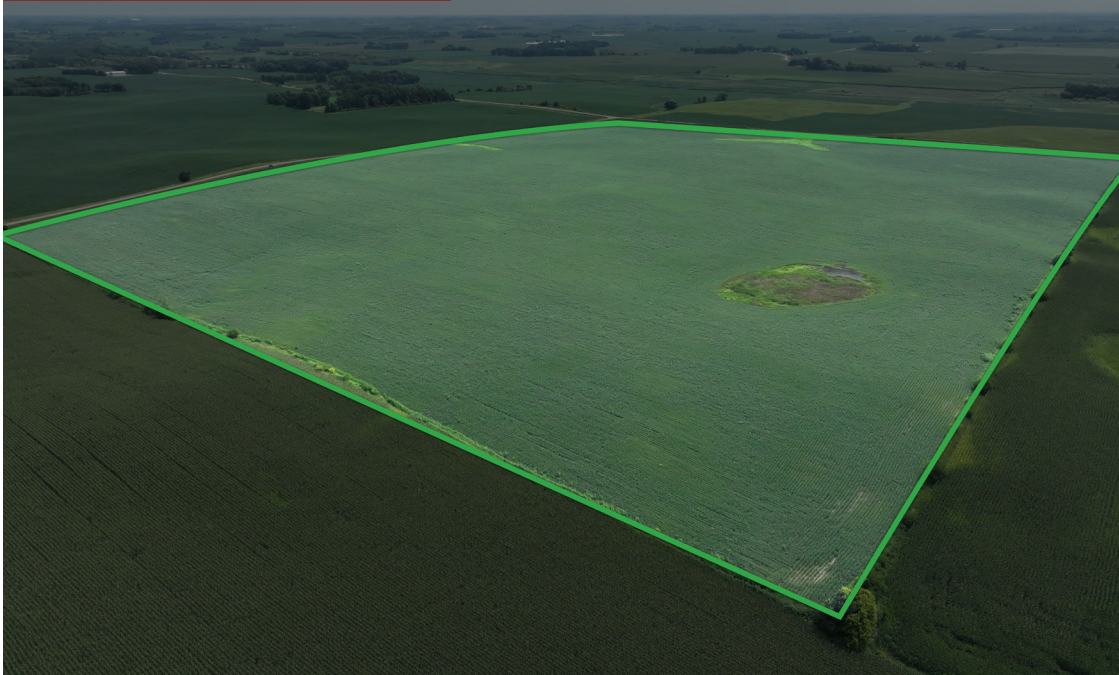


SE Corner Looking NE

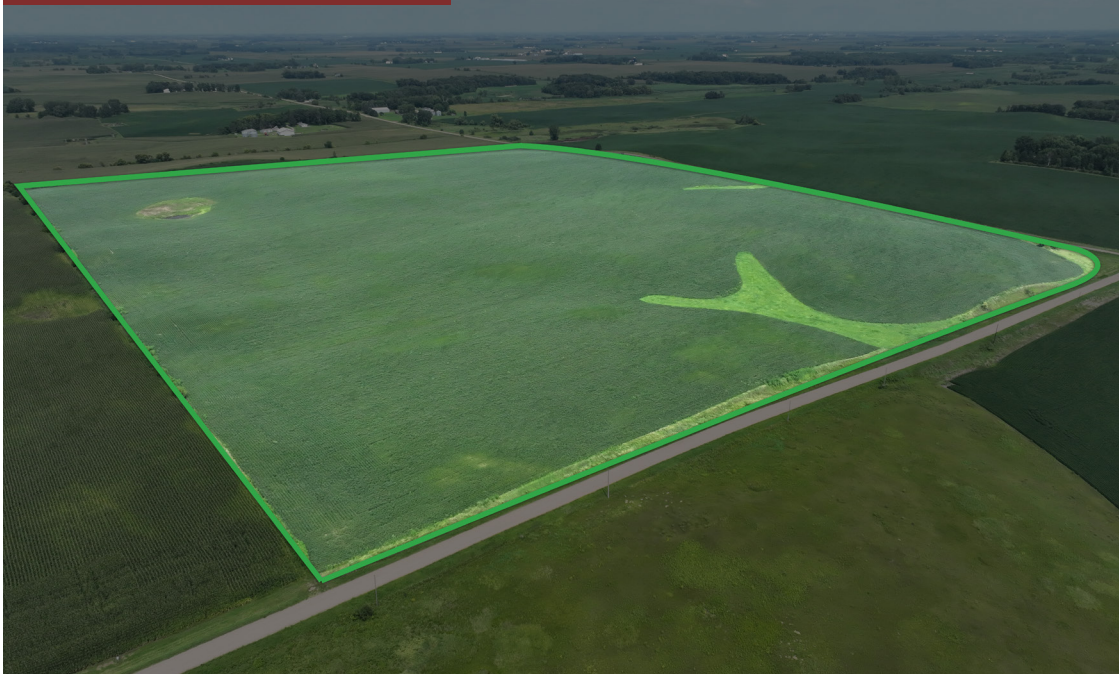


Property Images

NW Corner Looking SE



SW Corner Looking NE



Auction Instructions

**AUCTION LOCATION AND TIME:**

Waseca County East Annex
300 North State Street
Waseca, MN 56093

Friday, Sept. 25, 2026 @ 11:00 a.m.

AGENT CONTACT:

Charles Wingert, ALC
Broker, Accredited Land Consultant
Auctioneer #07-24-12
C: 507.381.9790 | O: 507.248.5263
charles@wingertlandservices.com

Auction Format

This auction will be offered as one parcel (89.35± acres).

Registration Required

Only registered bidders may attend and participate in the auction. All potential buyers must complete the online registration form at www.wingertlandservices.com under the "Property Listings & Auctions". Select "View Property" for this farm and click the registration link.

Registration must be completed by Noon, Thursday, September 24, 2026.

If online registration is not possible, please contact Geoff Mead at Wingert Land Services.

Bidding

All bids must be stated as a price per deeded acre and rounded to the nearest \$100 at registration. All registered bidders who submit a bid will have the opportunity to raise their bid after all bids have been opened.

Property Condition

The property will be sold "as is, where is."

Taxes & Lease Income

Seller shall pay 2026 real estate taxes and special assessments. Buyer will be responsible for real estate taxes due and payable in 2027 and thereafter, along with any unpaid special assessments due with those taxes and thereafter.

Purchase Agreement & Earnest Money

The successful bidder will sign a Purchase Agreement on the day of the auction and pay 10% of the total purchase price as earnest money.

Buyer Premium

A 2% Buyer Premium will be added to the final bid price to determine the total contract price.

Closing

The remaining balance of the purchase price, without interest, will be due on or before Friday, November 6, 2026, at which time marketable title shall be conveyed.

Seller Rights

The seller reserves the right to reject any or all bids and to waive any irregularities in the bidding process.

Announcements & Information

Announcements made on the day of the auction take precedence over any printed material. Information provided within this brochure is from sources deemed reliable but Wingert Land Services makes no guarantee as to its accuracy.



Thank you.



Thank you for allowing us the opportunity to present this property to you.

If this property doesn't align with your needs, please let us know—we're committed to finding a perfect match for your requirements. We also appreciate you sharing this information with anyone who may have an interest. If you have questions or would like additional details, we're here to help.



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